

THE OLYMPIAN



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FOR AUTHORITIES INVOLVED WITHIN THE BUILDING, CALL BILLIS BUILDING BUSINESS AND FURTHER INFORMATION ABOUT OTHER AUTHORITIES WILL BE PROVIDED

	A	B	C	D
1	LOCATIONS	AREAS	LOCATIONS	AREAS
2	BASEMENT	940M ²	N.APP GF	140.6m ²
3	GROUND FLOOR	699.27m ²	N.APP FF	122.4m ²
4	RESIDENTIAL GF	326.9m ²	N.APP SF	63.9m ²
5	COMMERCIAL GF	372.33m ²	N.APP TOT	326.9m ²
6	CAFÉ	87m ²	S.APP GF	186.3m ²
7	GREEN GROCER	97m ²	S.APP FF	159.6m ²
8	FIRST FLOOR	661.9m ²	S.APP SF	86.1m ²
9	RESIDENTIAL FF	280.2m ²	S.APP TOT	432m ²
10	COMMERCIAL FF	381.9m ²		
11	LAWYERS FIRM	185m ²		
12	SECOND FLOOR	420m ²		
13	RESIDENTIAL SF	149.9m ²		
14	COMMERCIAL SF	270.1m ²		
15	ARCHITECTURE OFFICE	134m ²		
16	COMMERCIAL TOTAL	1024.3m ²		
17	RESIDENTIAL TOTAL	758.9m ²		
18	BUILDING TOTAL	2724.1m ²		

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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **COVER PAGE**

Address: **1153-1157 Burke Road, Kew, Vic**

Number **001**

Scale

Date: **18/06/2023**

Project No. **02_2023**

GENERAL NOTES (NCC 2019 BCA VOL1)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, THE NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN
- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 1 ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN PRIOR TO IMPLEMENTATION OR INSTALLATION IT FIRST MUST BE ASSESS AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA
- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
 - RISERS (R) 190MM MAX AND 115MM MIN
 - GOING (G) 355MM MAX AND 240MM MIN FOR PRIVATE STAIRWAYS
 - 2R+ 1G = 700MM MAX AND 550MM
 - CONSTRUCTED WITH A LESS THAN 125MM GAP TO OPEN TREADS
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONFITIONS AND P4 FOR WET SURFACE CONDITIONS
- PROVIDE BARRIERS WHERE CHANGE IN LEVELS EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREATS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
 - 1000MM MIN ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865 MIN ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH A LESS THAN 125MM GAP BETWEEN, AND
 - ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- TOP OF HAND RAILS TO BE MIN 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND
- WATERPROOFING AND WATER RESISTANCE OF WET AREAS TO COMPLY WITH BCA PART F1.7
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF AS3700-2015 MASONRY STRUCTURES.

- ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES' APPROVAL
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS; DRAWINGS/DETAILS AND SPECIFICATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT
- ALL MEASUREMENTS AND LEVELS IN MILLIMETRES UNLES NOTED OTHERWISE
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES AND ALL ESSENTIAL SERVICES TO BE MAINTAINED DURING ALL WORKS
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF BILLIS BUILDING BUSINESS FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF BILLIS BUILDING BUSINESS EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGED TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO BILLIS BUILDING BUSINESS
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION

- REFER TO CIVIL ENGINEERS DESIGN AND DETAILS FOR ALL STORM WATER, CAR PARKING AND DRIVEWAY CONSTRUCTION REQUIREMENTS
- REFER TO FIRE SERVICES DESIGN FOR ALL HYDRANT, HOSE REELS AND EXTINGUISHER DETAILS
- ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN A METAL OR OTHER NON COMBUSTIBLE CABINET WITH SMOKE PROOF DOORS. SIGNIFICANT SWITCHBOARDS SHALL BE PROVIDED WITH A 5KG CARBON DIOXIDE EXTINGUISHER OR ANOTHER TYPE OF EXTINGUISHER WITH A MINIMUM CLASSIFICATION OF 1A:E AND FITTED WITH A HOSE COMPLETE WITH EXTINGUISHER IDENTIFICATION SIGNAGE AND SHALL BE LOCATED BETWEEN 2M AND 20M FROM THE SIGNIFICANT SWITCHBOARD
- FIRE HAZARD PROPERTIES OF MATERIALS AND ASSEMBLIES TO COMPLY WITH BCA SPECIFICATION C1.10
- FIRE HAZARD PROPERTIES OF MATERIALS AND ASSEMBLIES TO COMPLY WITH BCA SPECIFICATION C1.10
- MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS1668.2 AND AS/NZS3666.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS.

SEDIMENT POLLUTION CONTROL:

- A SITE MANAGEMENT PLAN IS TO BE IMPLEMENTED DURING CONSTRUCTION TO CONTROL DESIMENT RUN-OFF IN ACCORDANCE WITH EPA VICTORIA PUBLICATION #275 'CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL'.
- PROVIDE 'PROPEX' OR WRITTEN APPROVED EQUIVALENT SLIT FENCES TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND INSTALL 'SLIT STOP' FILTER BAGS OVER ALL STORM WATER ENTRY PITS DURING CONSTRUCTION WORKS.
- 'SUPERGRO' OR WRITTEN APPROVED EQUIVALENT EROSION CONTROL FABRIC TO BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION DURING RE VEGETATION PERIOD.

PERSONNEL LOADING:

- BASED ON SANITARY FACILITIES PROVIDED PER BCA TABLE F2.3
- MALE EMPLOYEES - BOBBY BROWN
 - FEMALE EMPLOYEES - BOBETTE BROWN
 - MALE PATRONS - ADAM SMITH
 - FEMALE PATRONS - MADELINE TOUCHE
 - MALE PARTICIPANTS - GRAHAM NORTON
 - FEMALE PARTICIPANTS - MEGAN FOX
 - CHILDREN - JACK DWELLER

AUTHORITIES LIST:

- MUNICIPALITY - BOROONDARA CITY COUNCIL
- SEWERAGE AUTHORITY - YARRA VALLEY WATER
- DRAINAGE AUTHORITY - YARRA VALLEY WATER
- RELEVANT BUILDING SURVEYOR - GREG WIGGLE
- RELEVANT FIRE AUTHORITY - JEFF WIGGLE
- RELEVANT ELECTRICAL SUPPLY AUTHORITY - CITI POWER

PLANNING PERMIT

- PLANNING PERMIT NO. 34567890987654
- ISSUE DATE - 13/06/23

BUILDER TO ALLOW FOR ALL WORKS TO COMPLY AND INCLUDE ALL REQUIRED CONDITIONS IN ACCORDANCE WITH THE PLANNING PERMIT AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL PLANNING CONDITIONS AT THE COMPLETION OF WORKS.

PROJECT CONSULTANTS LIST:

- CONSULTING STRUCTURAL ENGINEER - BILLI JOSIP
- CONSULTING CIVIL ENGINEER - JOSIP BILLI
- CONSULTING FIRE SERVICE DESIGN - BILLI MALE
- CONSULTING LAND SURVEYOR - ALEX ZIC
- CONSULTING GEOTECHNICAL ENGINEER - SAMUEL BONBON
- CONSULTING LANDSCAPE DESIGNER - LUKE ZOOLER
- CONSULTING MECHANICAL SERVICES ENGINEER - NOT SAJEL
- CONSULTING ELECTRICAL ENGINEER - JORDON LION
- CONSULTING HYDRAULIC ENGINEER - XAVIER LUKE
- CONSULTING LIGHTING DESIGNER - WILL STEVE
- SITE GEOTECHNICAL INVESTIGATION: REFER TO GEOTECHNICAL INVESTIGATION REPORT BY FEREZ WHYIS

DISCLAIMER

- THE INFORMATION CONTAINED IN THIS BUILDING DESIGNERS ASSOCIATION OF VICTORIA (BDV) ADVISORY NOTE PROVIDES GENERAL INFORMATION ONLY. YOU SHOULD OBTAIN PROFESSIONAL ADVICE TAILORED TO YOUR SPECIFIC CIRCUMSTANCES AND NEEDS
- THE BDV DOES NOT GIVE ANY REPRESENTATION OR WARRANTY AS TO THE ACCURACY, RELIABILITY, COMPLETENESS OR TIMELINESS OF THE INFORMATION, NOR DOES IT ACCEPT ANY RESPONSIBILITY ARISING IN ANY WAY (INCLUDING NEGLIGENCE) FOR ERRORS IN, OR OMISSIONS FROM, THE INFORMATION CONTAINED IN THIS ADVISORY NOTE.



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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **GENERAL NOTES**

Number **002**

Scale

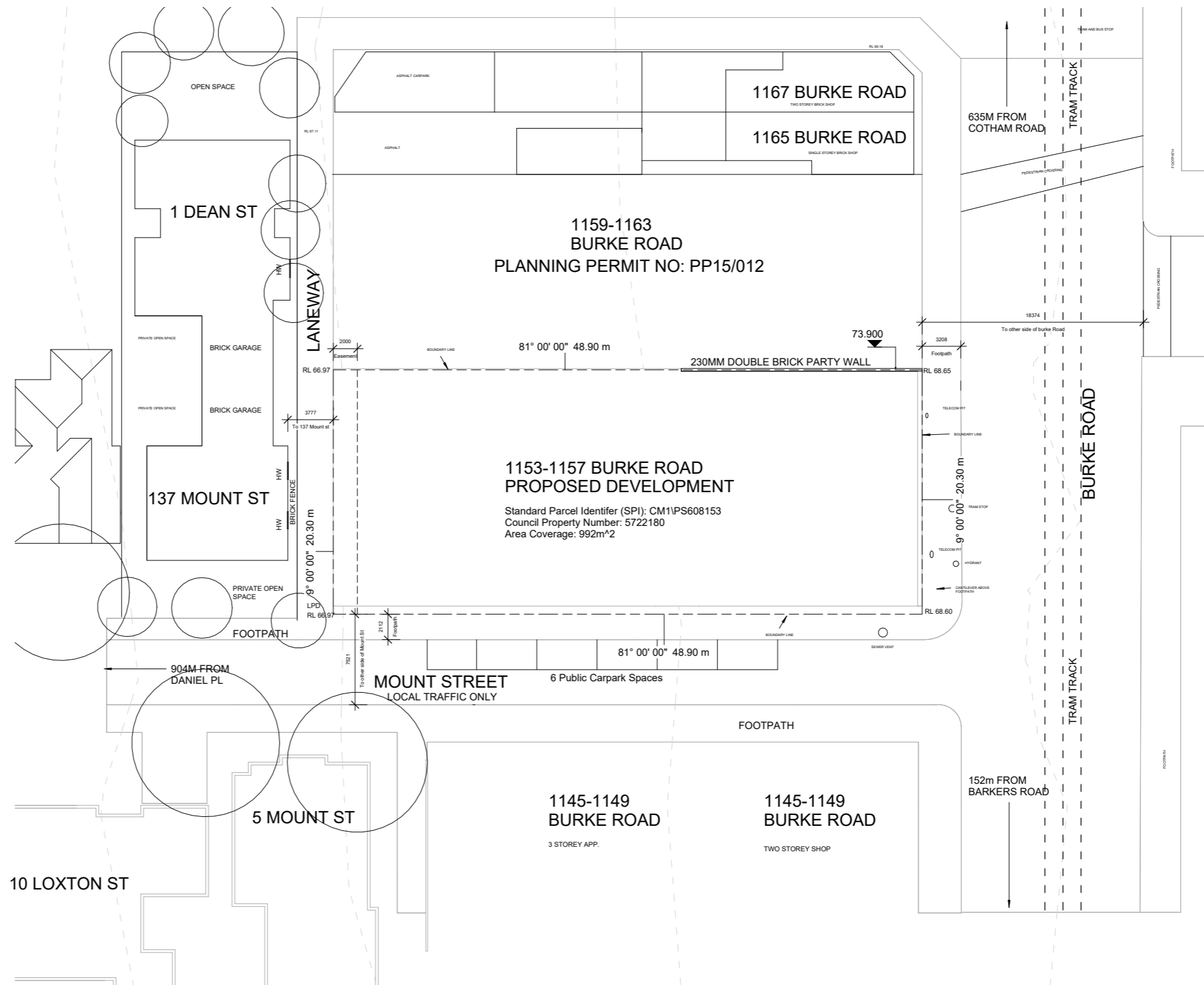
Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

Project No. **02_2023**

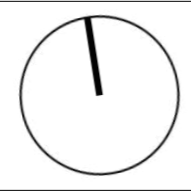
GENERAL SITE NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL STRUCTURAL, CIVIL, SERVICES AND LANDSCAPE DOCUMENTS, EXISTING DETAIL SURVEY DRAWINGS AND IN CONJUNCTION WITH ALL TECHNICAL SPECIFICATIONS AND MANUFACTURERS INSTRUCTIONS.
- CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR ORDERING MATERIALS
- ALL SET-OUT WORKS ARE TO BE BY A LICENCED SURVEYOR TO ESTABLISH DATUM, GRIDS, FINISHED FLOOR LEVELS, SERVICES AND SERVICE DUCTS
- VERIFY SITE LEVELS AND DIMENSIONS ON ALL DRAWINGS PRIOR TO COMMENCEMENT OF WORKS ON SITE
- CONSTRUCT HOARDING AND PUBLIC PROTECTION ETC. TO THE APPROVAL OF THE BUILDING SURVEYOR
- REFER TO HYDRAULIC DRAWINGS FOR WORKS ASSOCIATED WITH FIRE SERVICES, SEWER AND WATER
- REFER TO ARCHITECTURAL DRAWINGS FOR DOWNPIPE LOCATIONS, CONNECT INTO SWD SYSTEM TO THE APPROVAL OF THE RESPONSIBLE AUTHORITY, REFER TO CIVIL AND HYDRAULIC ENGINEERS DRAWINGS FOR DETAILS.
- REFER TO SPECIFICATIONS FOR ALL MATERIAL SELECTIONS, FINISHES AND SCHEDULES
- MANUFACTURERS WRITTEN INSTRUCTIONS ARE TO BE REFERRED TO WHEN INSTALLING ALL PROPRIETARY ITEMS SPECIFIED
- MATERIALS AND EQUIPMENT USED IN THE BUILDING WORKS SHALL BE OF AUSTRALIAN MANUFACTURE UNLESS OTHERWISE SPECIFIED
- REFER TO CONSULTANTS DRAWINGS FOR CO-ORDINATION OF BUILDERS WORK IN RELATION TO ALL SERVICES AND STRUCTURES
- ALL ITEMS REQUIRED FOR COMPLETION OF THE BUILDING, WHILST NOT NECESSARILY BEING MENTIONED OR DESCRIBED HEREIN, BUT NECESSARY OR INCIDENTAL FOR THE COMPLETION OF THE BUILDING, SHALL BE INCORPORATED AND SHALL CONFIRM TO GOOD BUILDING TRADE PRACTICES AND MANUFACTURERS WRITTEN RECOMMENDATIONS WHERE APPLICABLE
- FOR NEW STORMWATER SYSTEM INCLUDING STORMWATER GRATED OUTLETS REFER TO CIVIL ENGINEERS DOCUMENTS



1 WD 00 existing site plan
1 : 200

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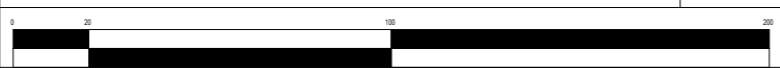


No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Existing Site Plan**

Address: **1153-1157 Burke Road, Kew, Vic**

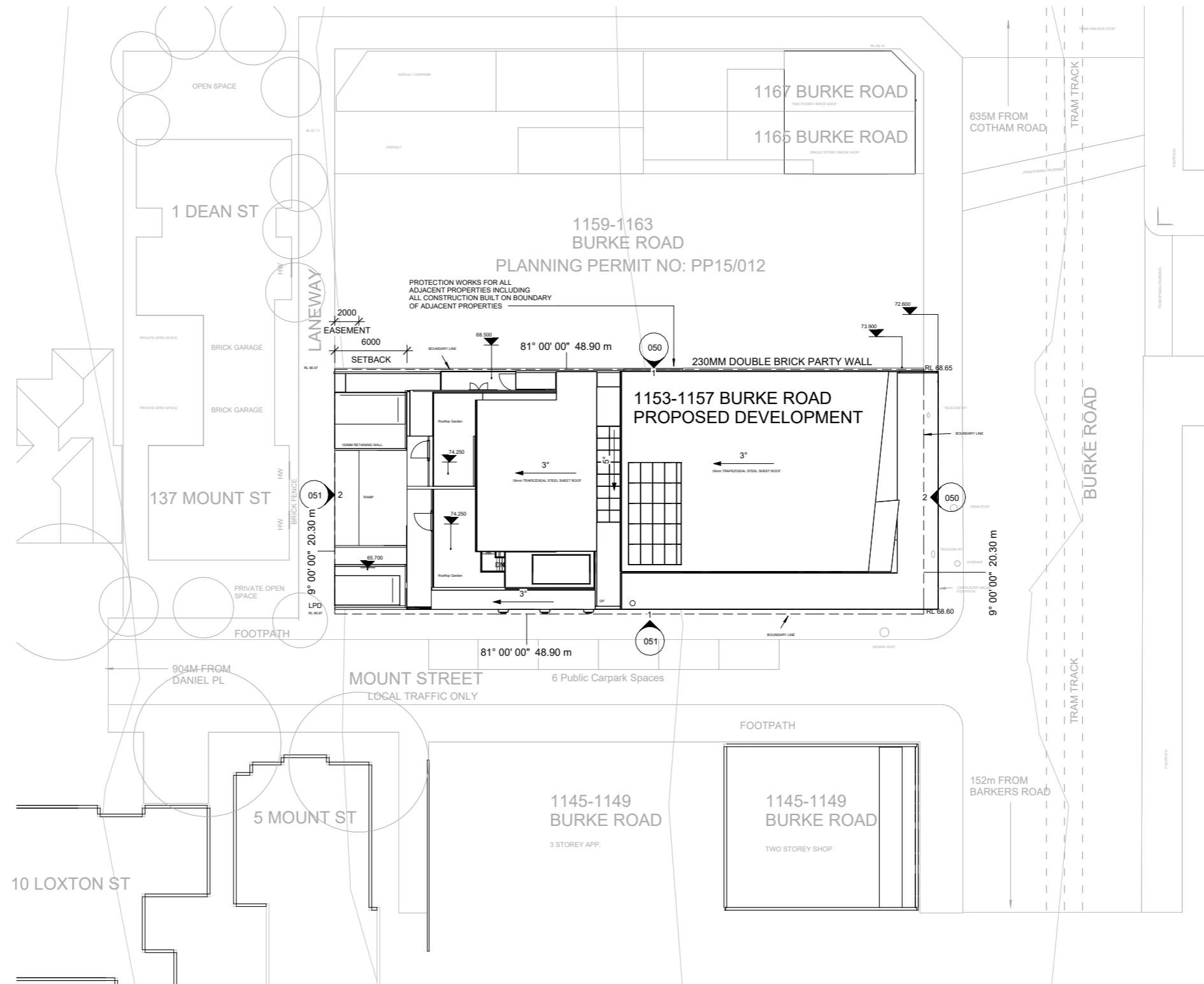


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Date: **18/06/2023** Project No. **02_2023**

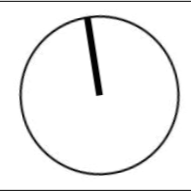
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- FOR NEW STORMWATER SYSTEM INCLUDING STORMWATER GRATED OUTLETS REFER TO CIVIL ENGINEERS DOCUMENTS



WD 01 proposed site plan
1 : 200

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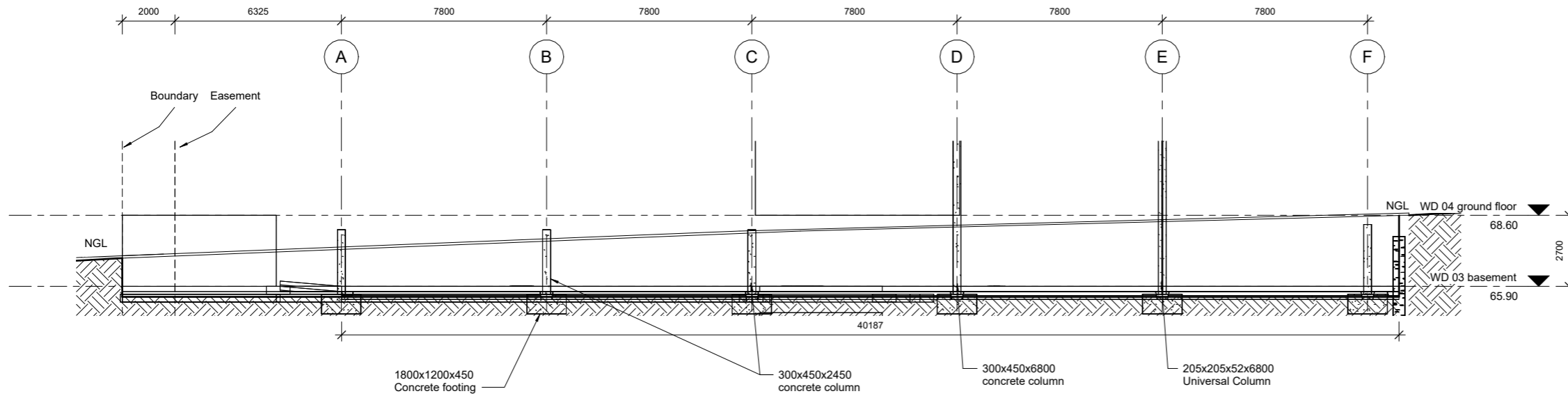


No.	Description	Date

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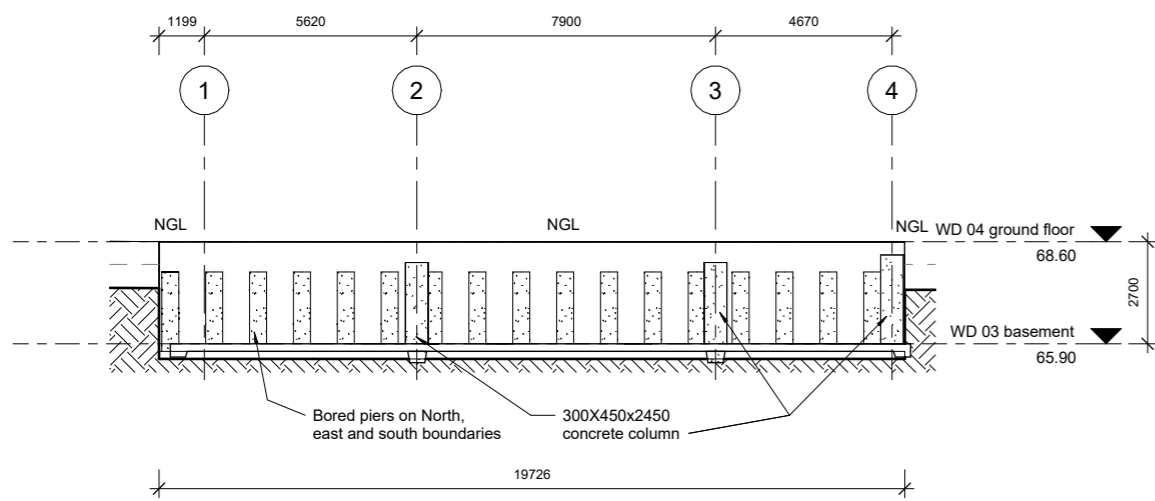
Model: **The OLYMPIAN**
 Sheet: **Proposed Site Plan**
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Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**



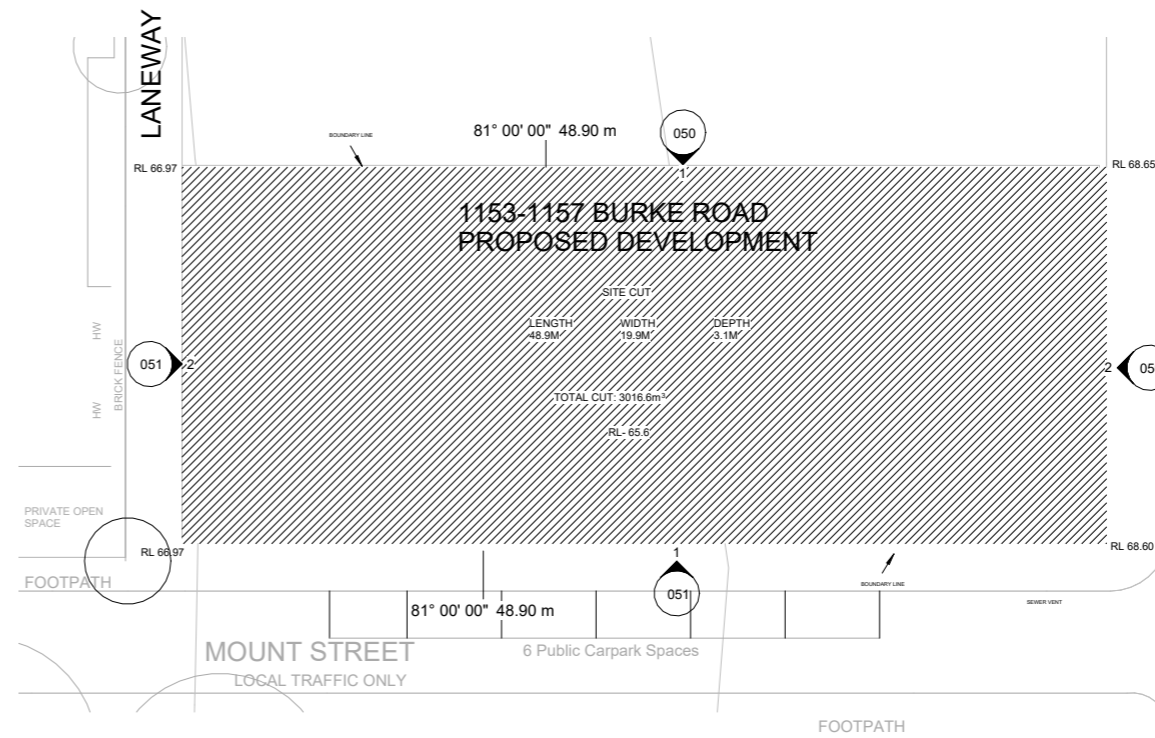
SC East to West Site cut section

1
1 : 100



SC North to South Site cut Section

2
1 : 100



WD 08 Site cut

3
1 : 200



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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Proposed Site cut**

Address: **1153-1157 Burke Road, Kew, Vic**

Number **012**

Scale **As indicated**

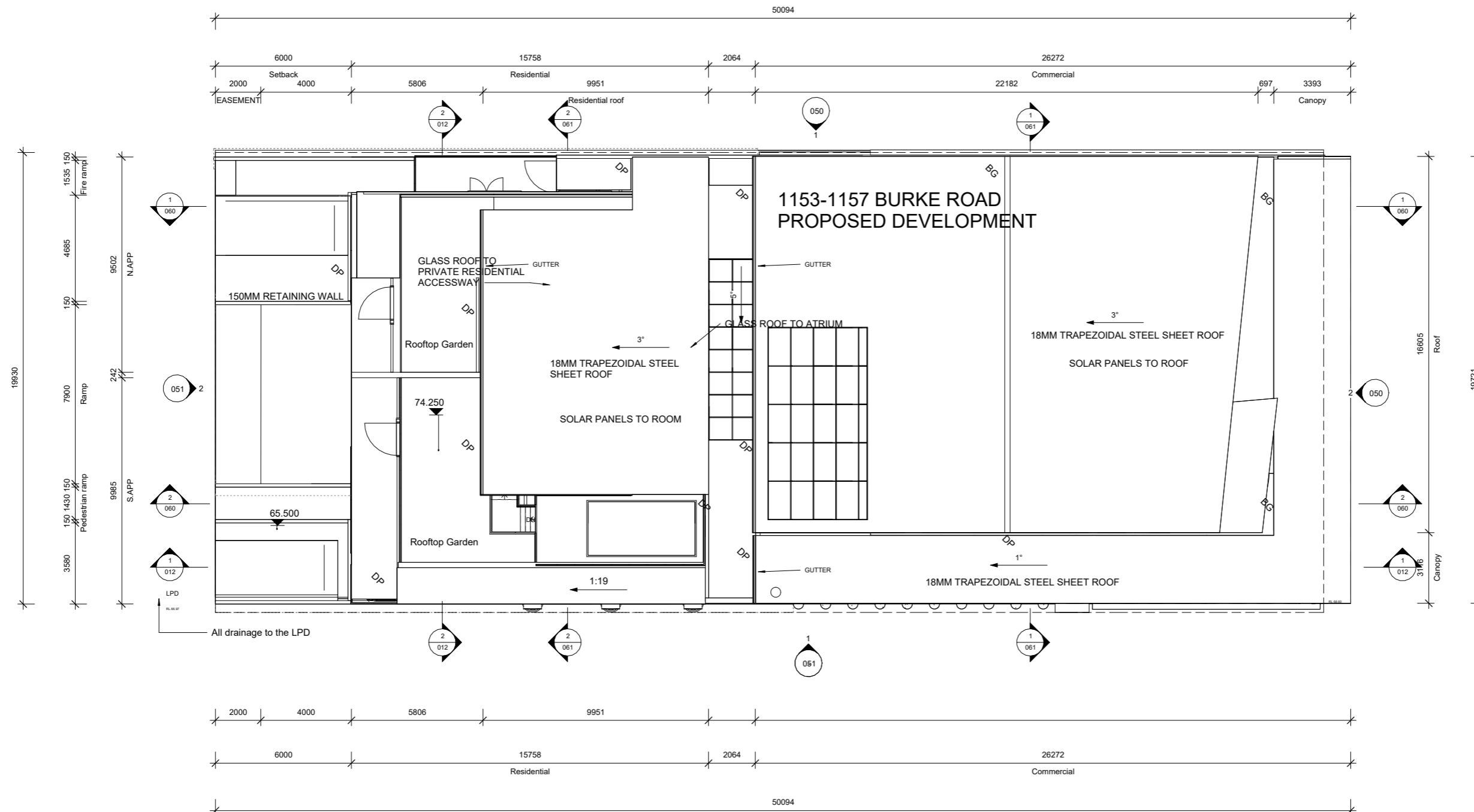
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Project No. **02_2023**



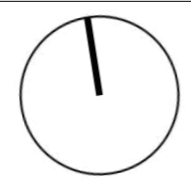
KEY:

- BG - Colorbond aluminium box gutter 200 x 75
- DP - Colorbond rectangular downpipe 150x150



1 WD 02 ROOF PLAN
1 : 100

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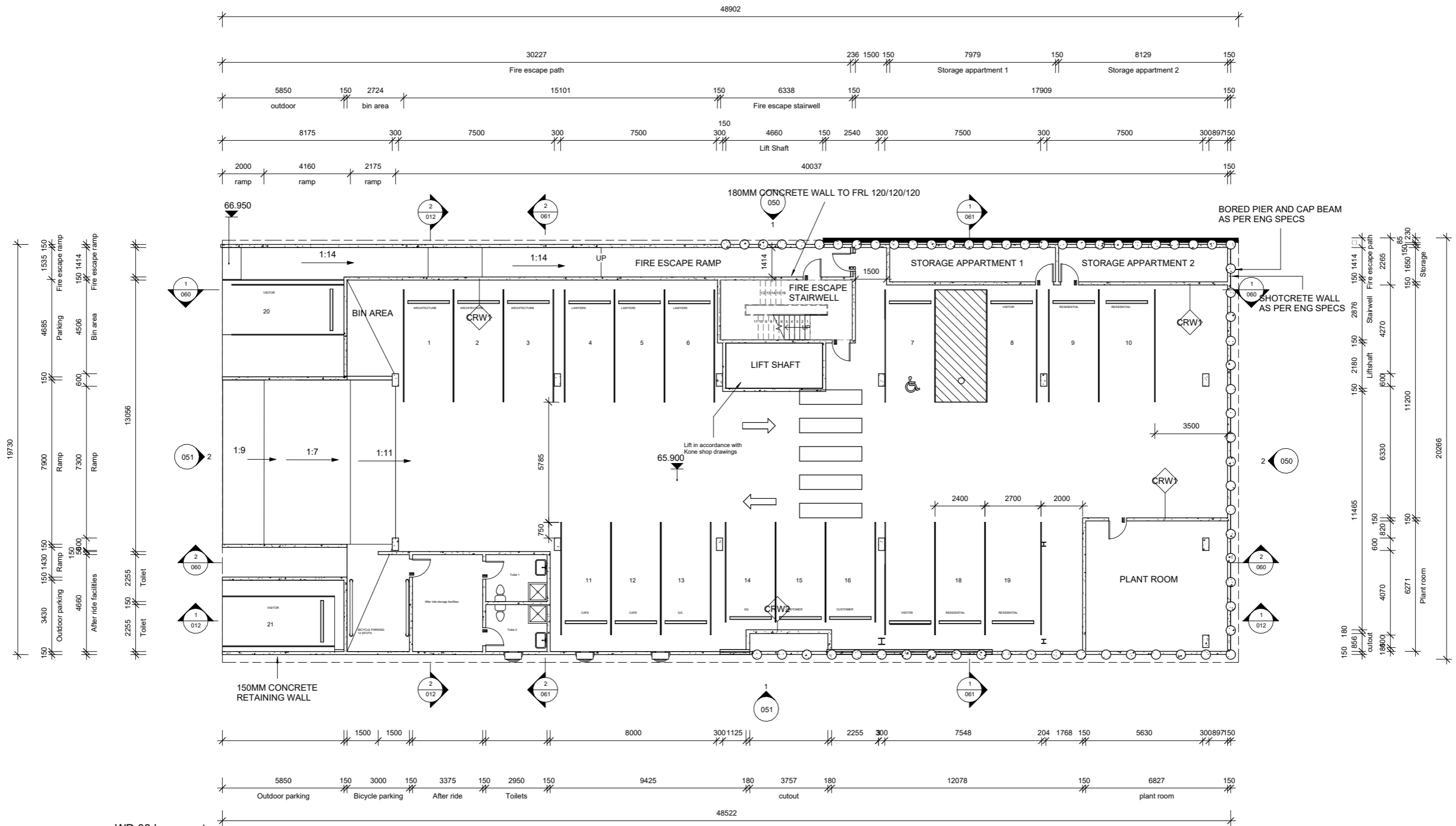


No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Proposed Roofplan**
 Number: **020** Scale: **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**



1 WD 03 basement
1 : 100



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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Proposed Basement Floorplan**

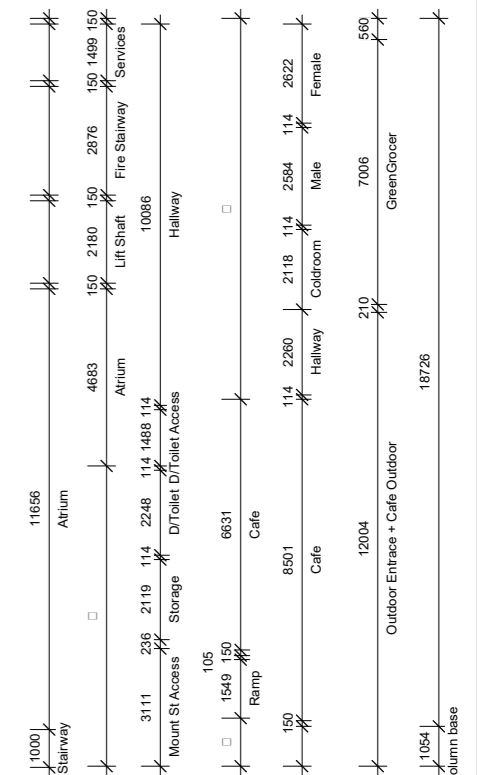
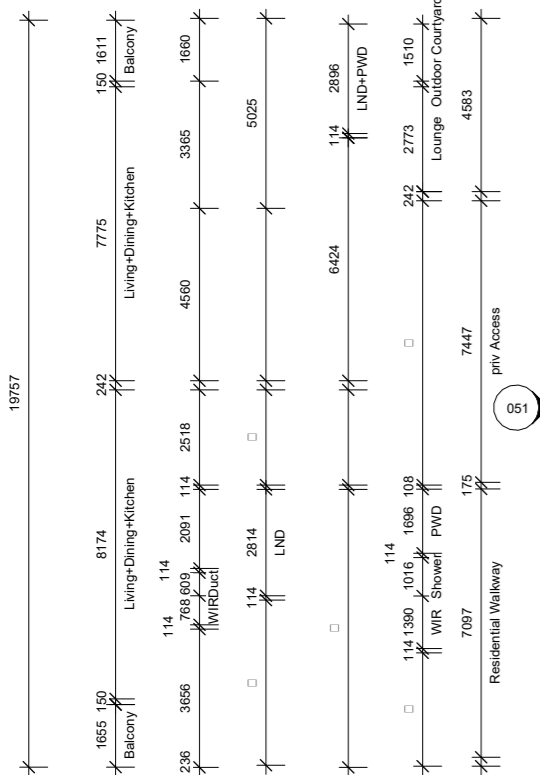
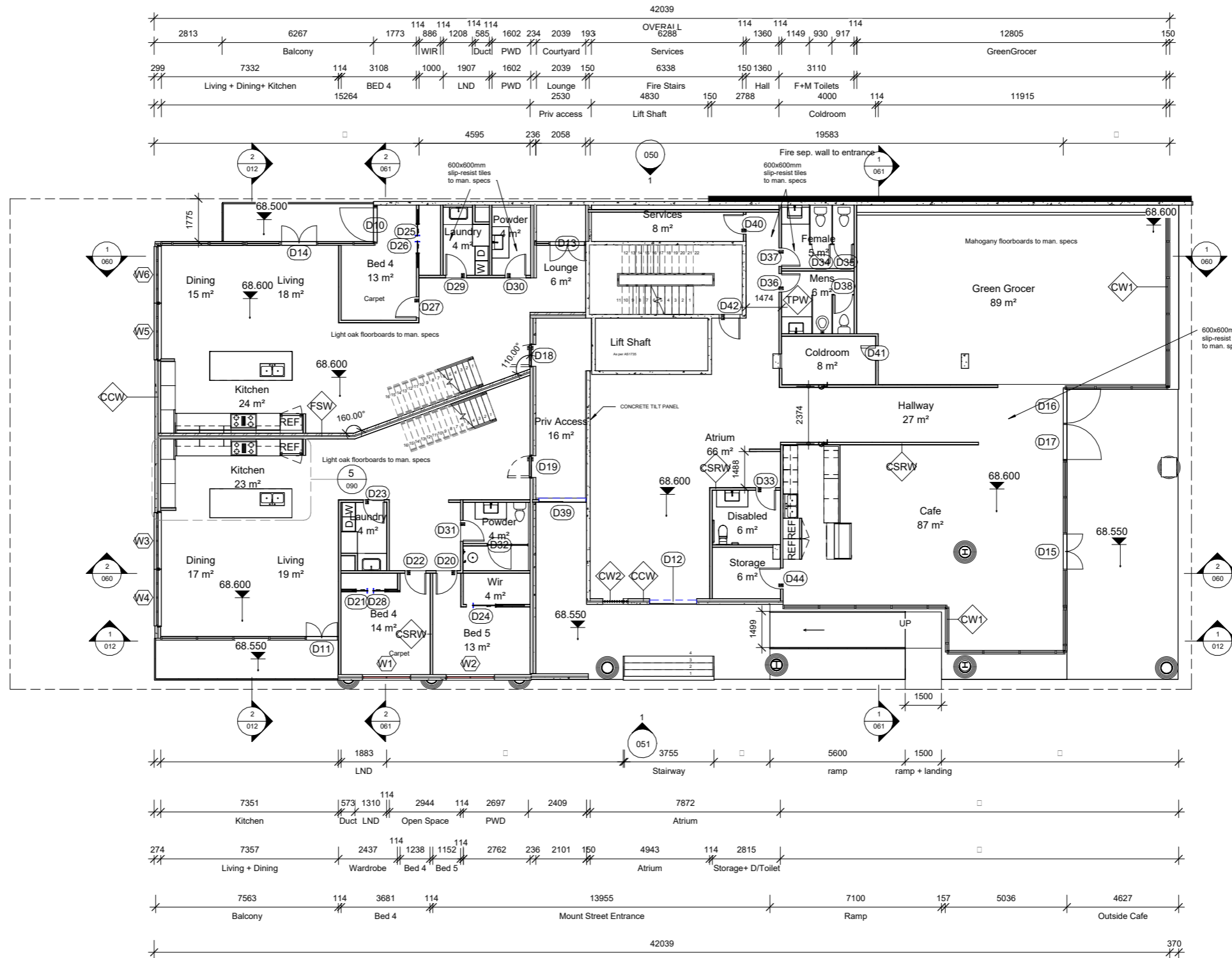
Number **030**

Scale **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**

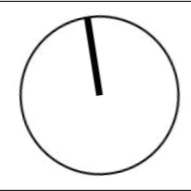
Date: **18/06/2023**

Project No. **02_2023**



1 WD 04 ground floor
1 : 100

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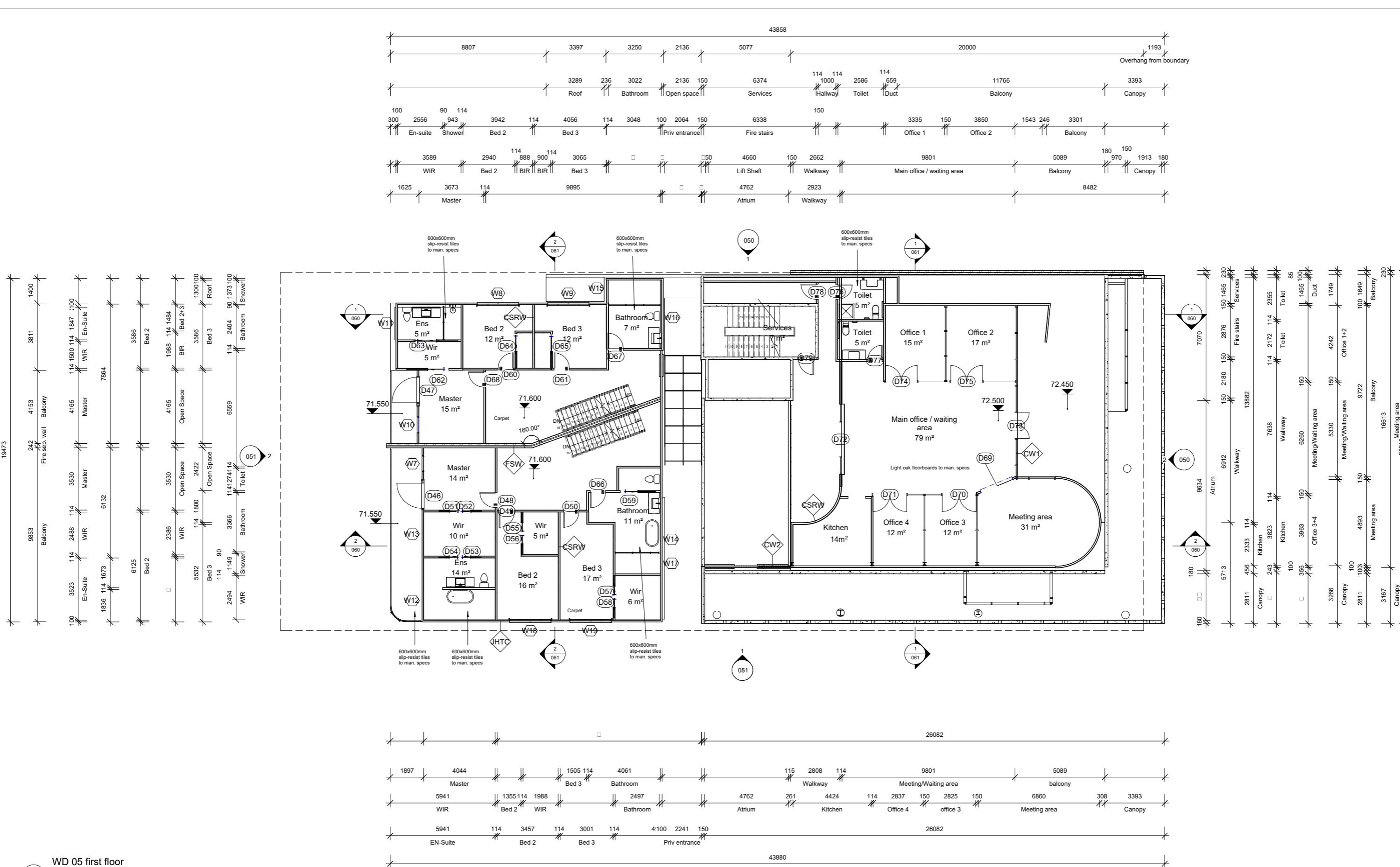


No.	Description	Date

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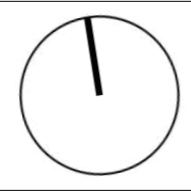
Model: **The OLYMPIAN**
 Sheet: **Proposed Ground Floorplan**
 Number: **031** Scale: **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**
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1 WD 05 first floor
1 : 100

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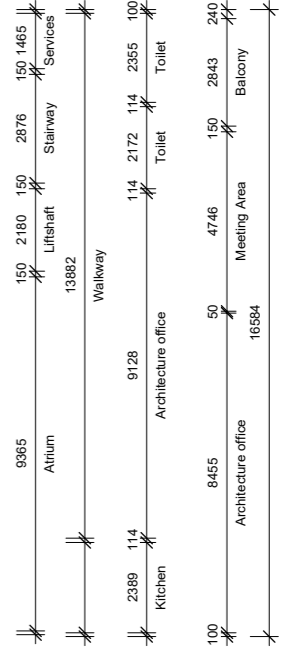
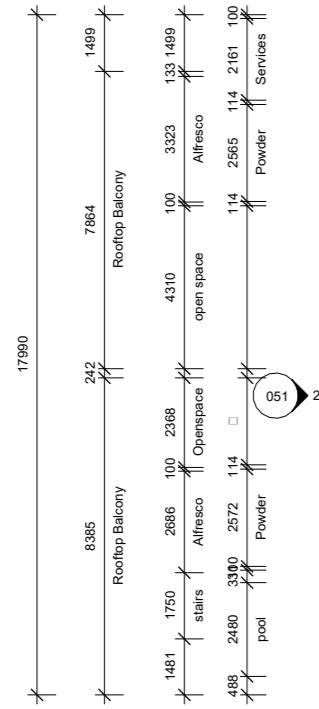
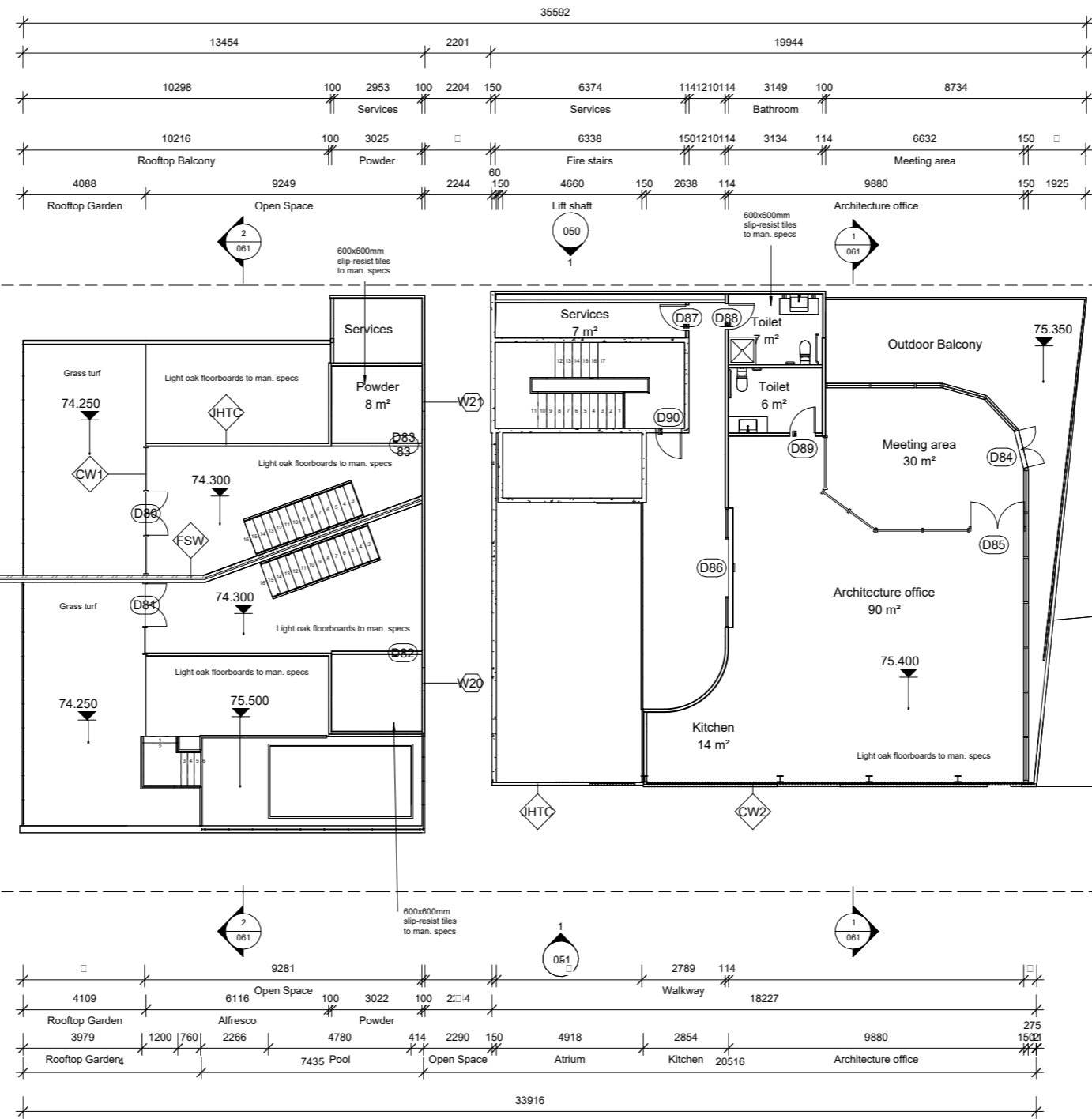


No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Proposed First Floorplan**
 Number: **032** Scale: **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**

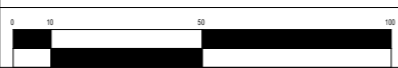


1 WD 06 second floor
1 : 100

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 Email: 103993349@student.swin.edu.au
 Address: 1 Hellothere ave, Melbourne



No.	Description	Date



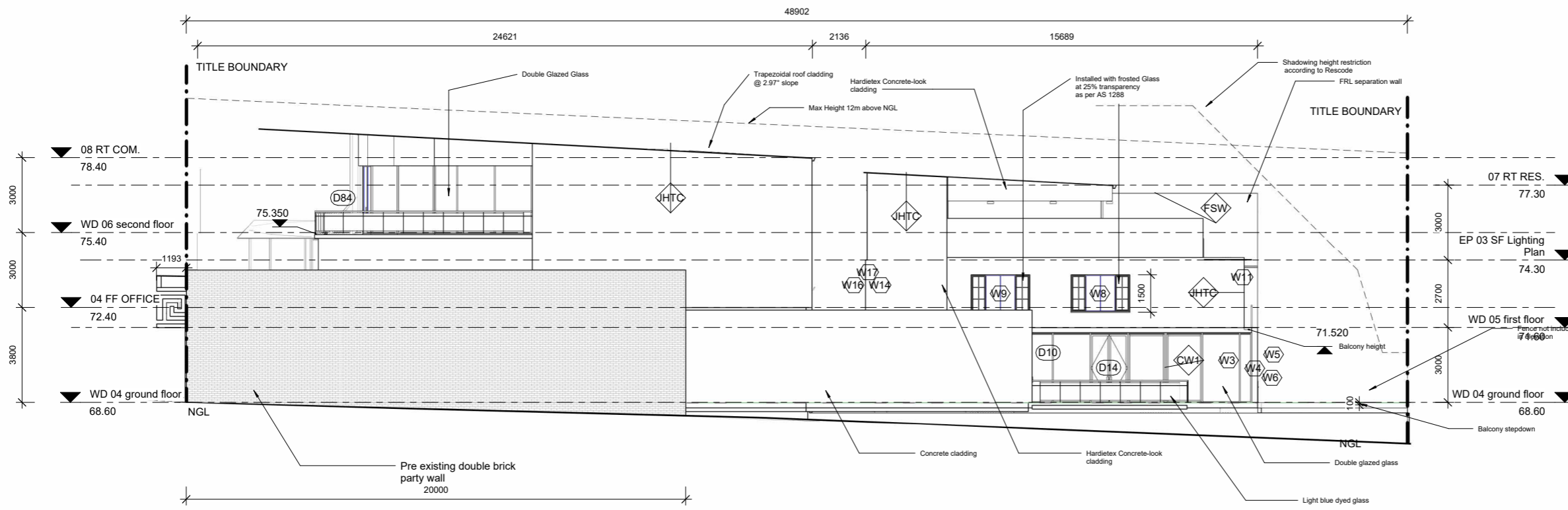
Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Proposed Second Floorplan**

Address: **1153-1157 Burke Road, Kew, Vic**

Number: **033** Scale: **1 : 100**

Date: **18/06/2023** Project No. **02_2023**

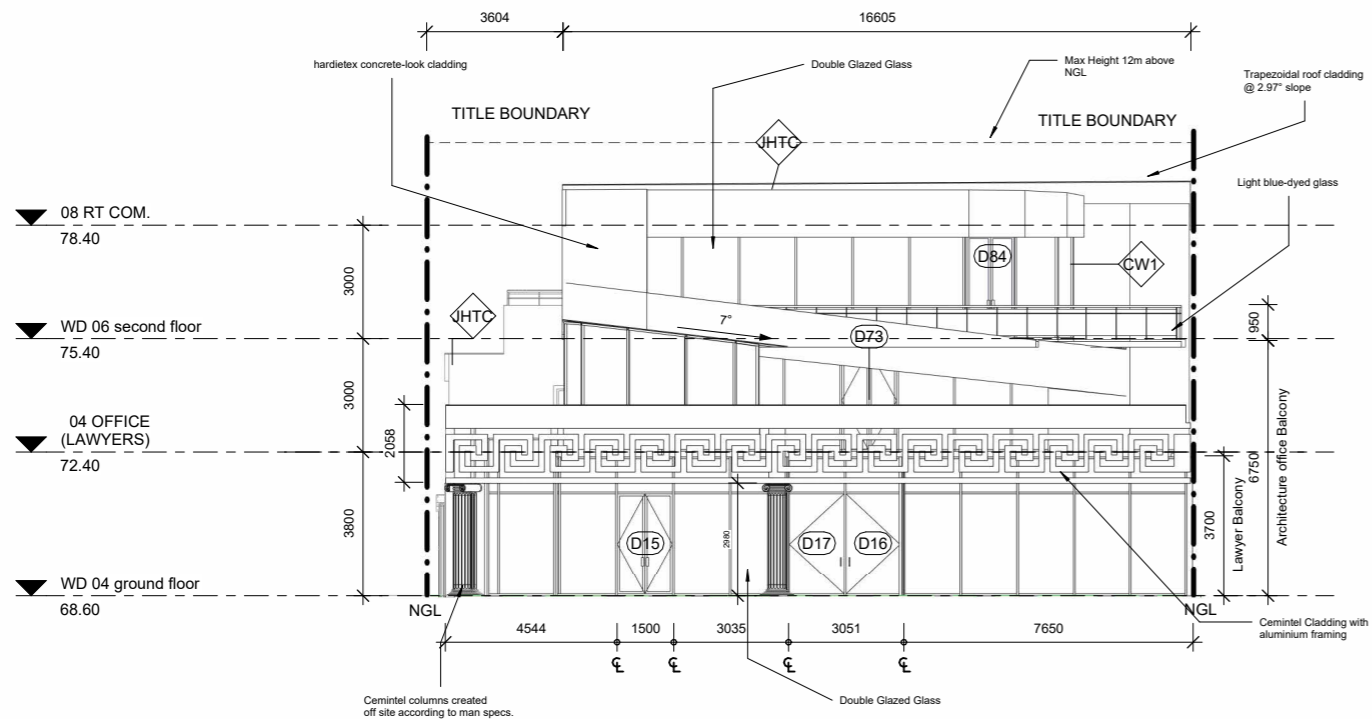


North
1 : 100

04 - External Finishes

1 : 500

-   Glass Curtain Wall System
-   Timber-look aluminium batten Curtain Wall System
-   Concrete cladding
-   James HardieTex™ concrete look cladding
-  Cemintel render cladding



East
2 : 100


Elevations Notes

1. NOTE: RESCODE SIDE AND REAR BOUNDARY SETBACK REGULATION (CLAUSE 55 B17)
2. NOTE - ALL SITE LEVELS AND FINISHED FLOOR LEVELS ARE TO AHD - (AUSTRALIAN HEIGHT DATUM)
3. NOTE - ALL RETAINING WALL AS PER ENG'S DESIGN. EXACT LENGTH & HEIGHT TO BE CONFIRMED ON SITE BY BUILDER (typ)
4. NOTE - ALL RETAINING WALL AS PER ENG'S DESIGN. EXACT LENGTH & HEIGHT TO BE CONFIRMED ON SITE BY BUILDER (typ)
5. NOTE: ALL WINDOWS WITH 2.0M FALL OR GREATER TO HAVE TO HAVE SOME FORM OF BALUSTRADE OR PROTECTION
6. NOTE - ALL BALUSTRADES TO COMPLY WITH AS 1288.
7. NOTE: MAX. 125mm Window Restrictors to openable sashes with overlooking issue.
8. NOTE - ALL NEW GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047.GRADE A SAFETY GLASS.
9. NOTE: ALL LISTED DOOR AND WINDOW DIMENSION, TYPES AND FRAMES ARE NOMINAL, AND ARE TO BE CONFIRMED ON SITE BY BUILDER (Typ)
10. NOTE: ALL LISTED DOOR AND WINDOW FRAMES TO BE FITTED WITH EXTERNAL FLYSCREENS (Typ)
11. NOTE - BALCONIES TO BE PROVIDED WITH NON-CLIMBABLE ZONES BETWEEN 150-760MM IN HEIGHT MEASURED FROM FFL.



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 Address: 1 Hellothere ave, Melbourne

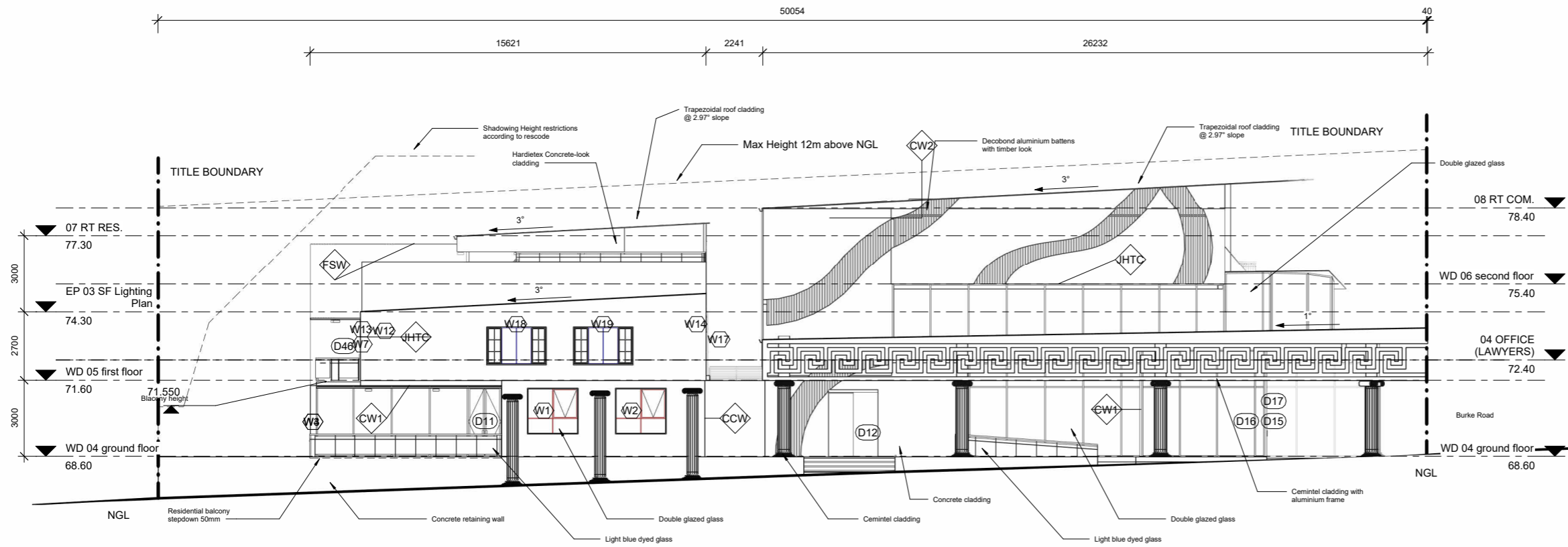
No.	Description	Date



Client: **G.Naguib**










Model: **The OLYMPIAN**
 Sheet: **NORTH/EAST ELEVATIONS**
 Number: **050** Scale: **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**

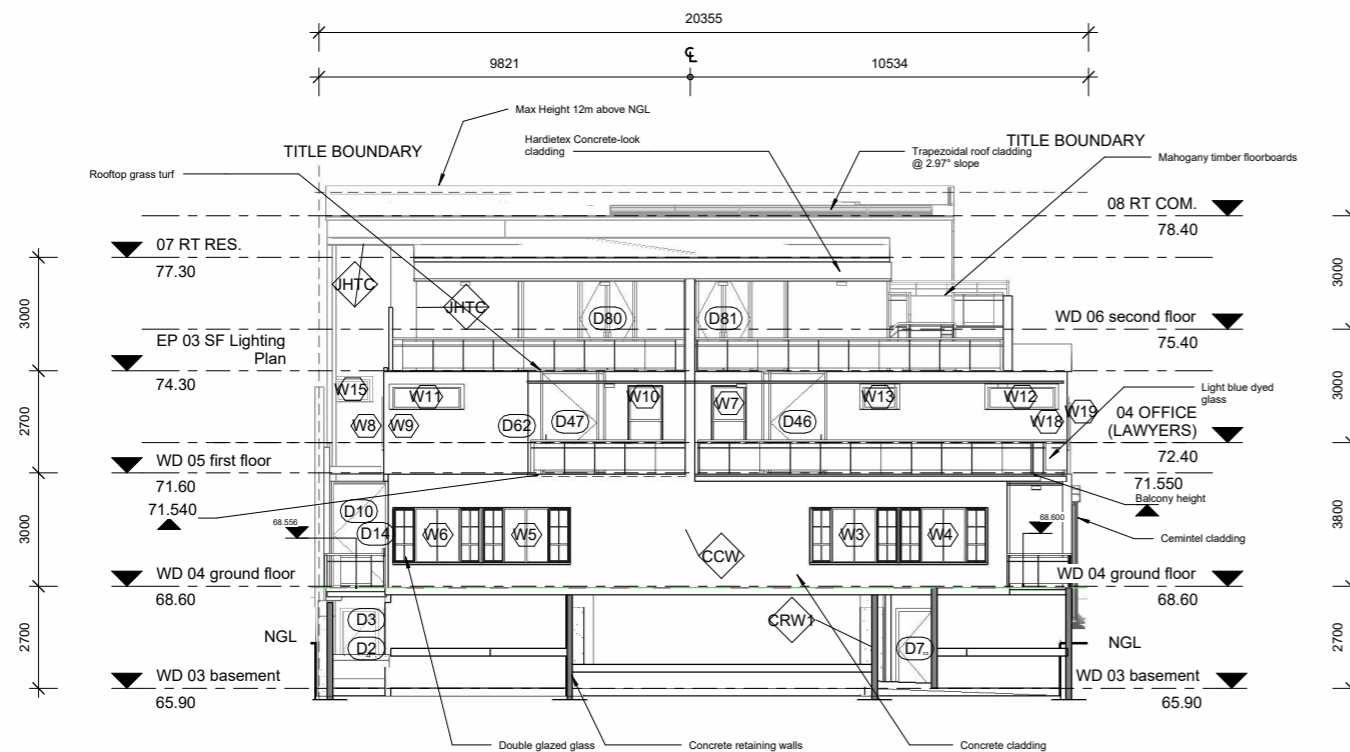


04 - External Finishes

1 : 500

-  CW1  Glass Curtain Wall System
-  CW2  Timber-look aluminium batten Curtain Wall System
-  CCW  Concrete cladding
-  JHTC  James HardieTex™ concrete look cladding
-  Cemintel render cladding

South
1 : 100



- Elevations Notes**
1. NOTE: RESCODE SIDE AND REAR BOUNDARY SETBACK REGULATION (CLAUSE 55 B17)
 2. NOTE - ALL SITE LEVELS AND FINISHED FLOOR LEVELS ARE TO AHD - (AUSTRALIAN HEIGHT DATUM)
 3. NOTE - ALL RETAINING WALL AS PER ENG'S DESIGN. EXACT LENGTH & HEIGHT TO BE CONFIRMED ON SITE BY BUILDER (typ)
 4. NOTE - ALL RETAINING WALL AS PER ENG'S DESIGN. EXACT LENGTH & HEIGHT TO BE CONFIRMED ON SITE BY BUILDER (typ)
 5. NOTE: ALL WINDOWS WITH 2.0M FALL OR GREATER TO HAVE TO HAVE SOME FORM OF BALUSTRADE OR PROTECTION
 6. NOTE - ALL BALUSTRADES TO COMPLY WITH AS 1288.
 7. NOTE: MAX. 125mm Window Restrictors to openable sashes with overlooking issue.
 8. NOTE - ALL NEW GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047.GRADE A SAFETY GLASS.
 9. NOTE: ALL LISTED DOOR AND WINDOW DIMENSION, TYPES AND FRAMES ARE NOMINAL, AND ARE TO BE CONFIRMED ON SITE BY BUILDER (Typ)
 10. NOTE: ALL LISTED DOOR AND WINDOW FRAMES TO BE FITTED WITH EXTERNAL FLYSCREENS (Typ)
 11. NOTE - BALCONIES TO BE PROVIDED WITH NON-CLIMBABLE ZONES BETWEEN 150-760MM IN HEIGHT MEASURED FROM FFL.

West
2 : 100

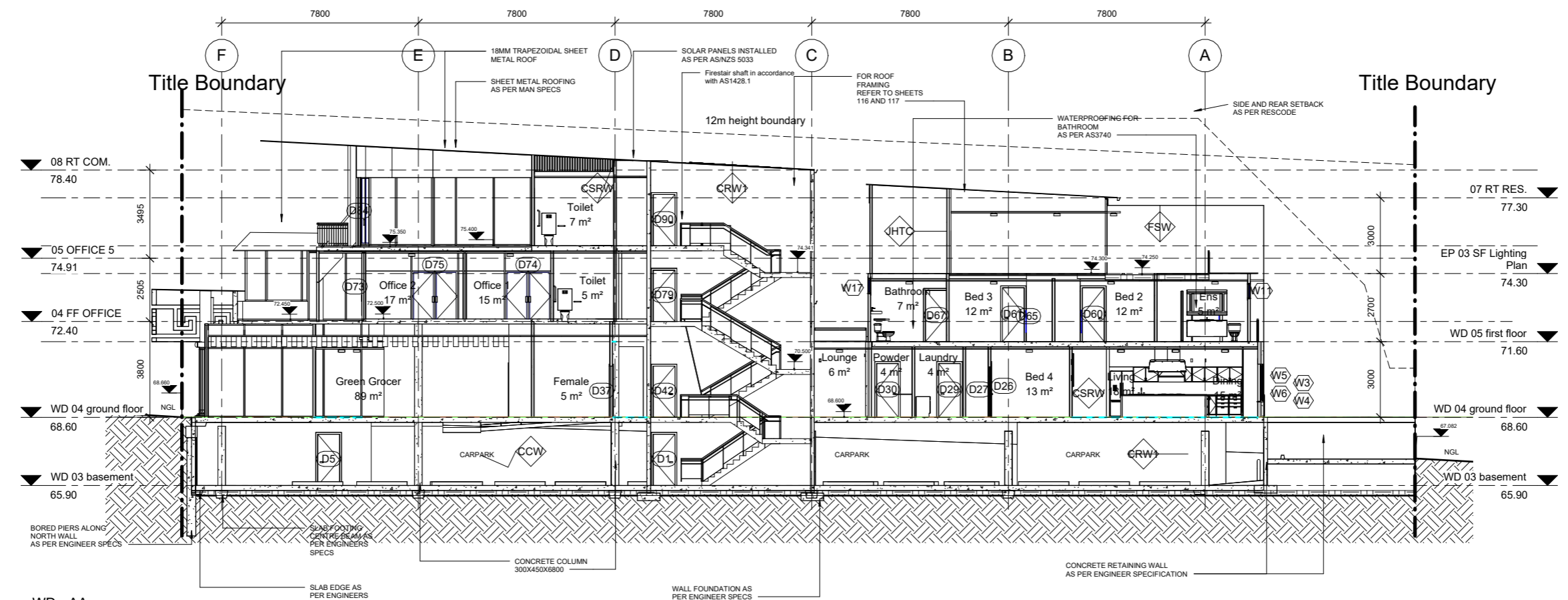
Billi's Building Business
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 Address: 1 Hellothere ave, Melbourne

No.	Description	Date

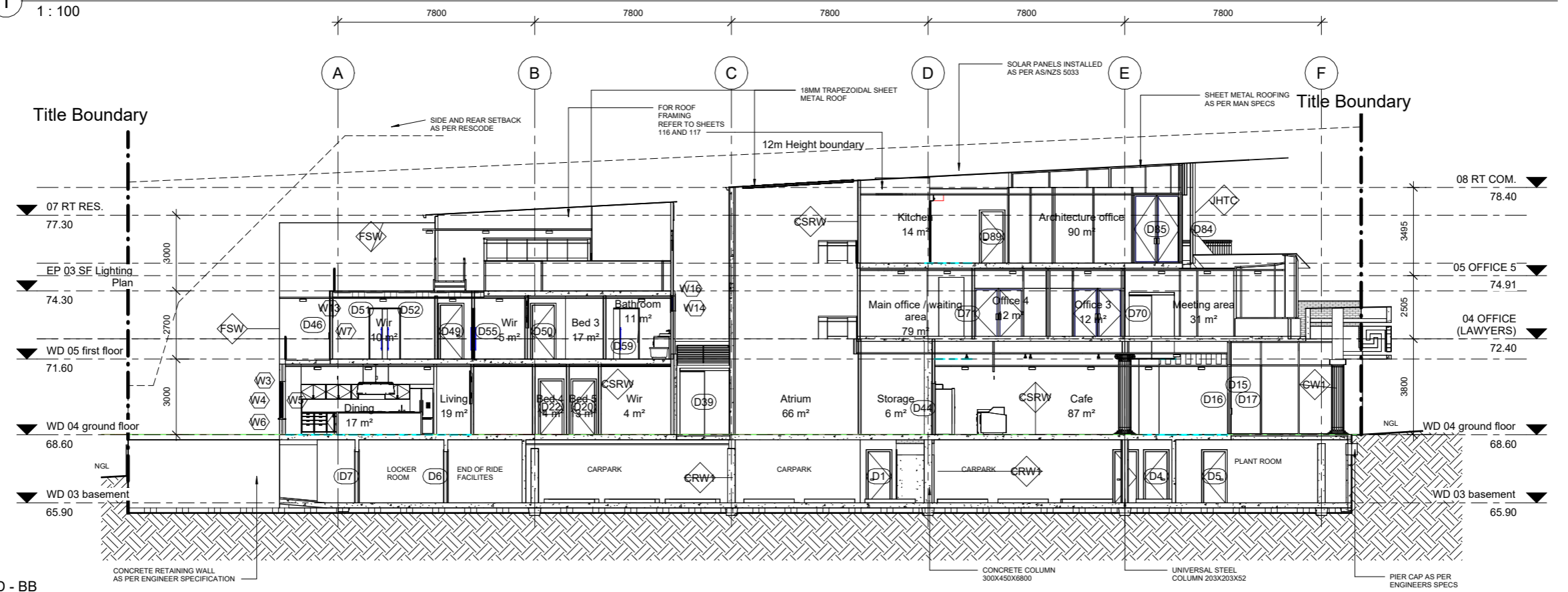
Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **SOUTH/WEST ELEVATIONS**
 Number: **051** Scale: **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**



1 WD - AA
1 : 100



2 WD - BB
1 : 100

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 Address: 1 Hellothere ave, Melbourne

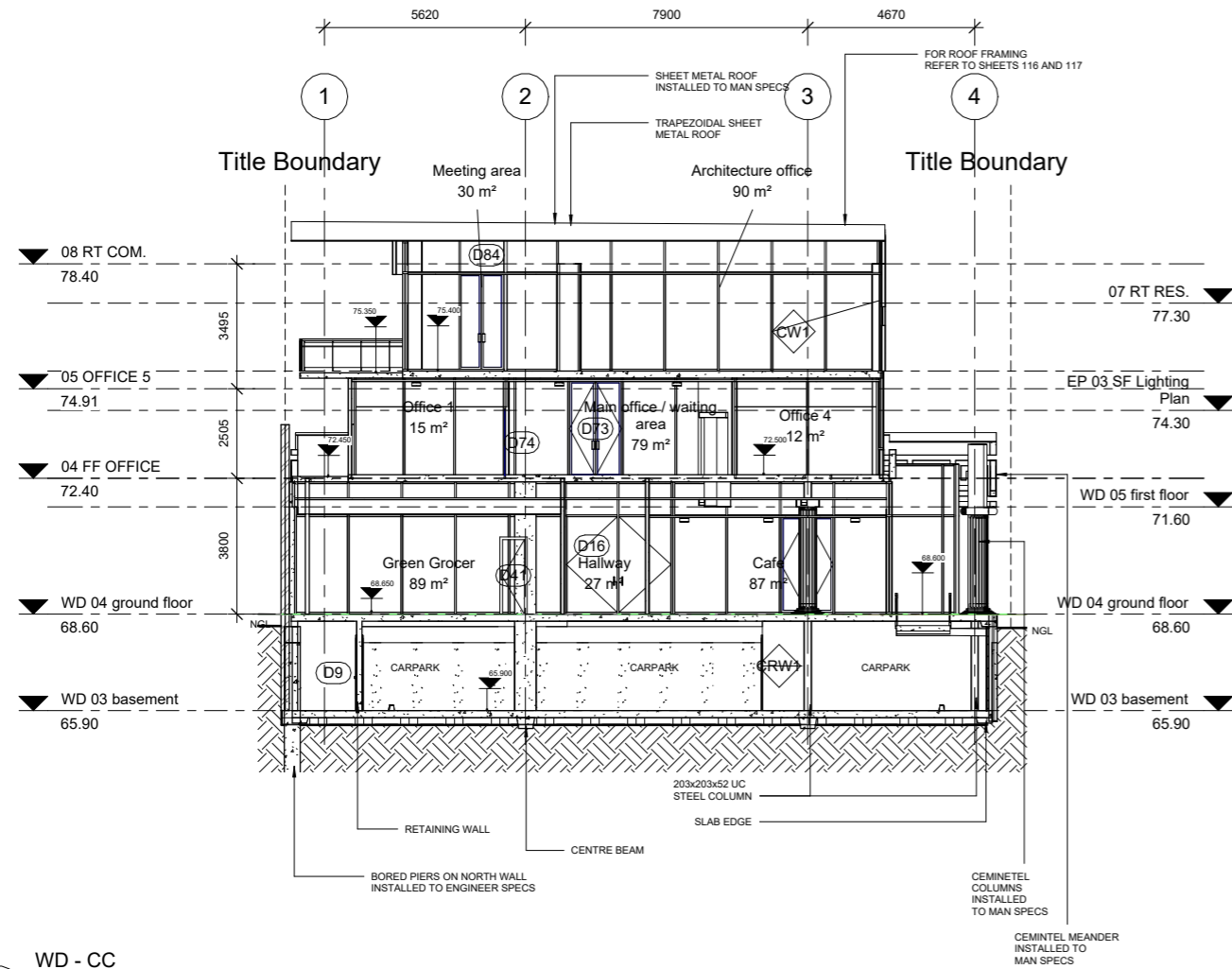
No.	Description	Date

Client: **G.Naguib**

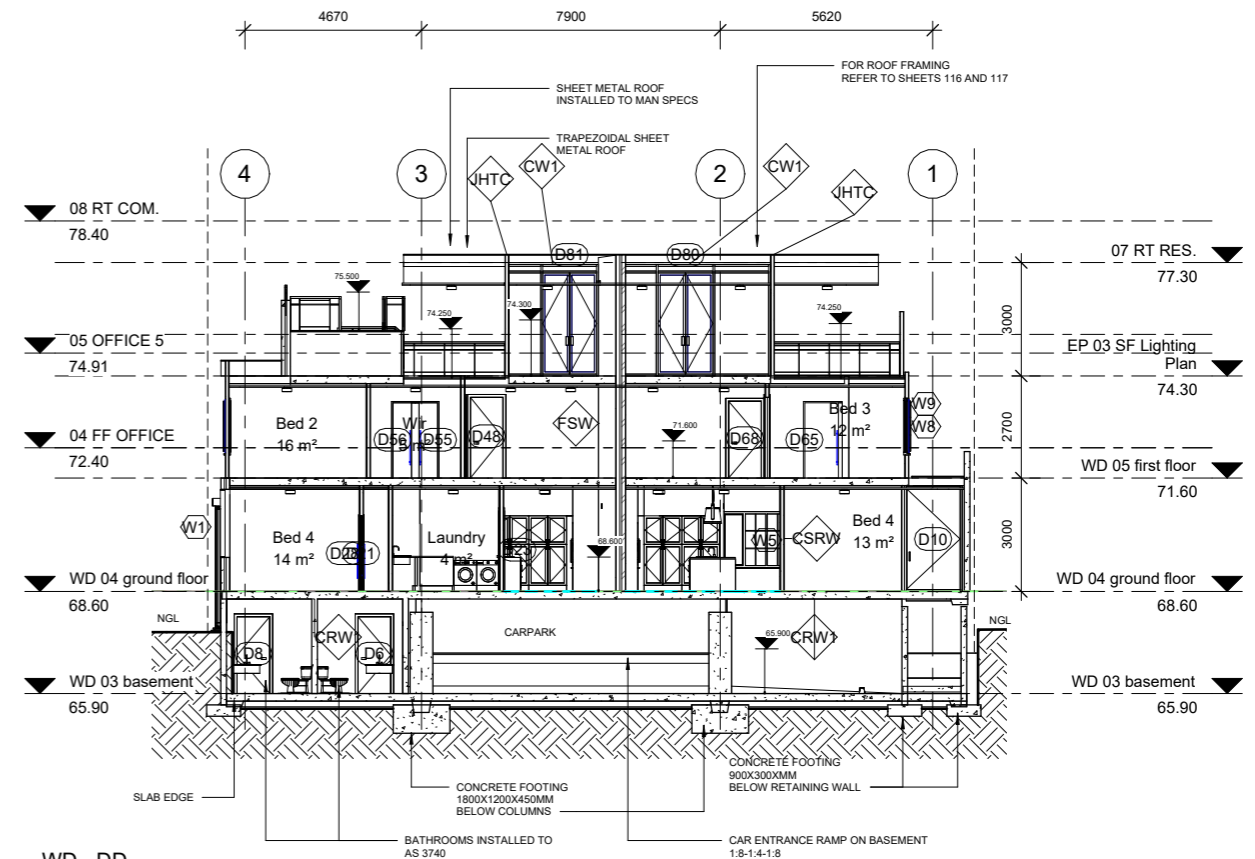
Model: **The OLYMPIAN**
 Sheet: **Section**
 Number: **060**
 Scale: **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023**
 Project No. **02_2023**





1
WD - CC
1 : 100



2
WD - DD
1 : 100



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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Sections 2**

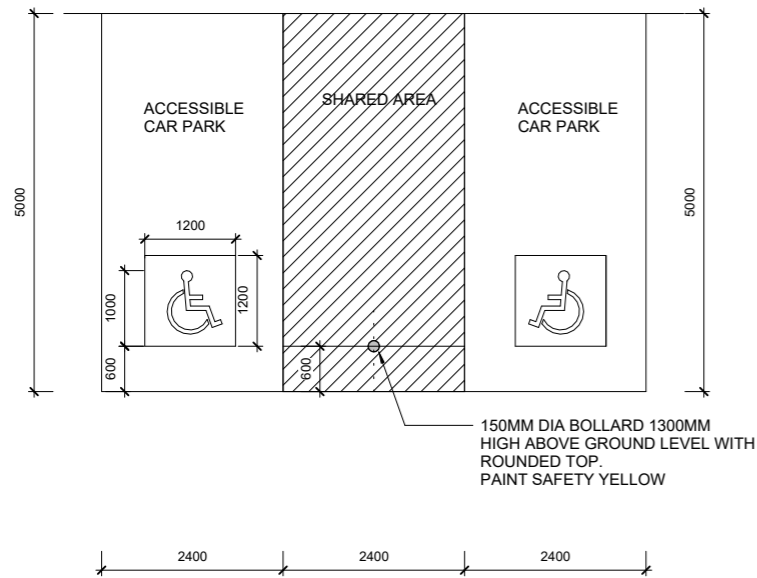
Address: **1153-1157 Burke Road, Kew, Vic**

Number **061**

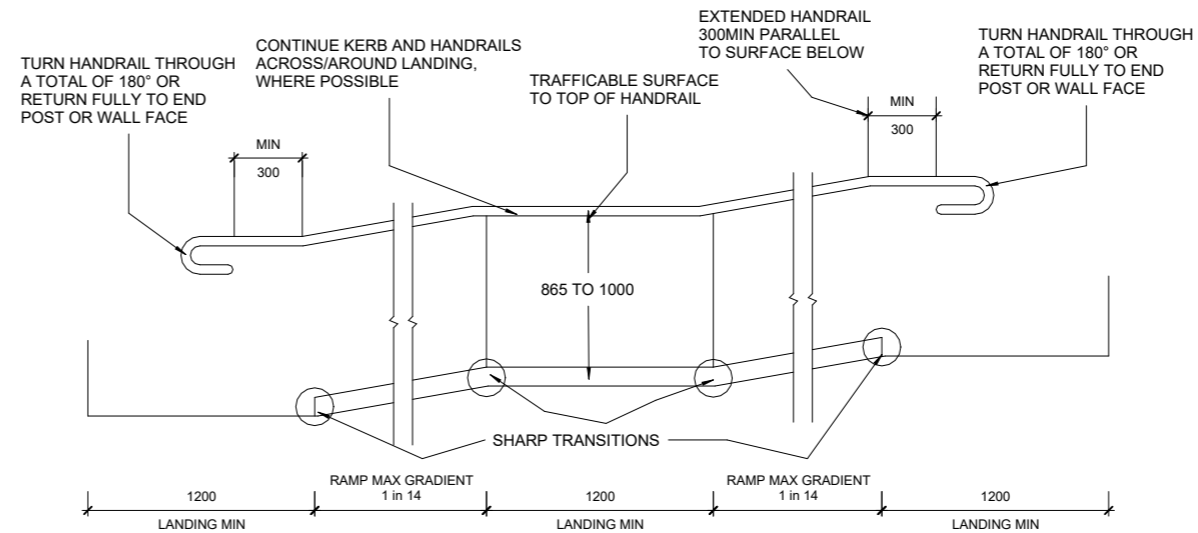
Scale **1 : 100**

Date: **18/06/2023**

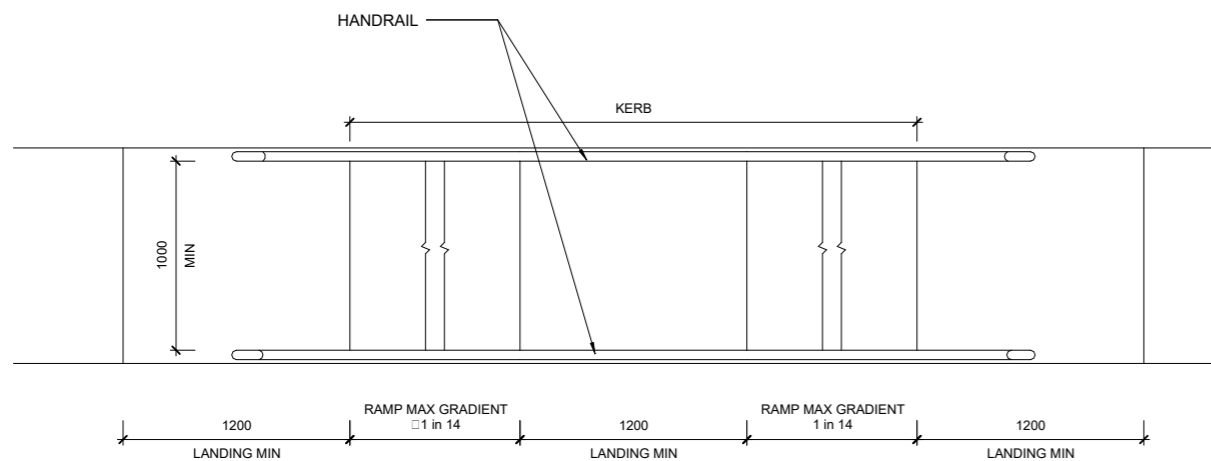
Project No. **02_2023**



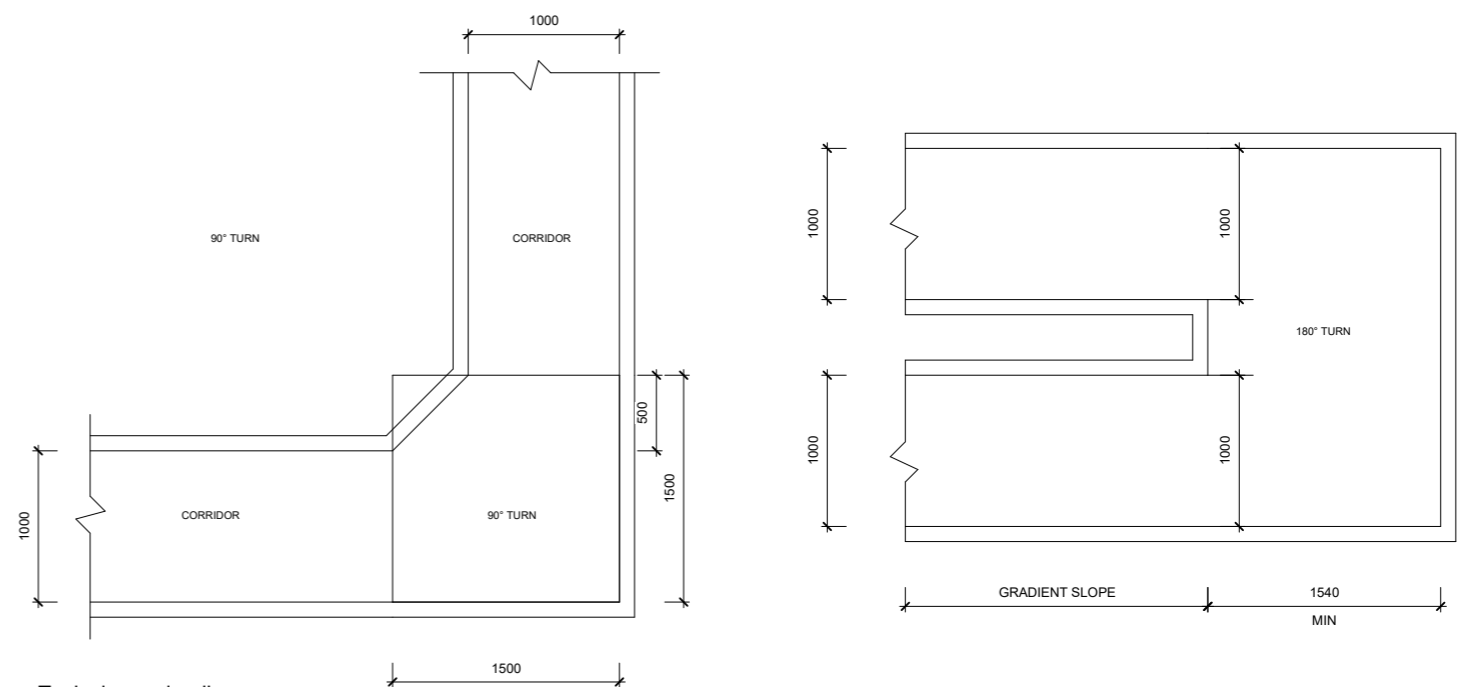
1 Typical accessible carparking
1 : 50



2 Typical ramp elevation
1 : 20



3 Typical ramp plan
1 : 20

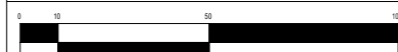


4 Typical ramp landing
1 : 25



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No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Typical details 1**

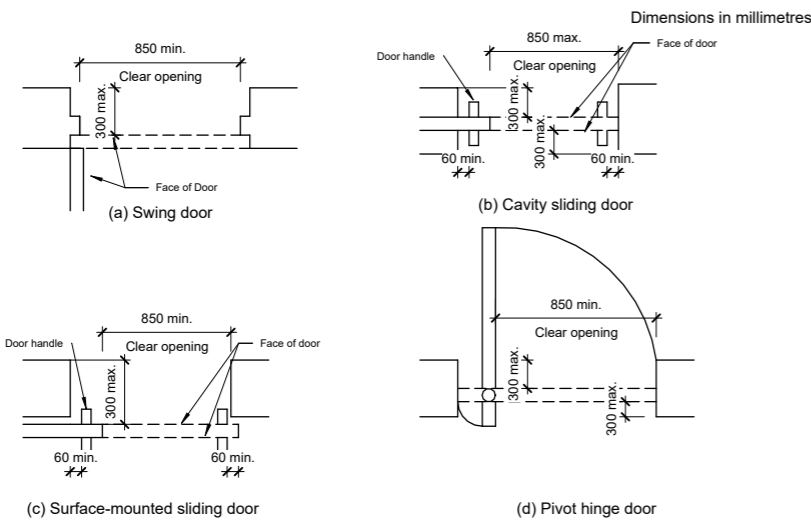
Number **062**

Scale **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**

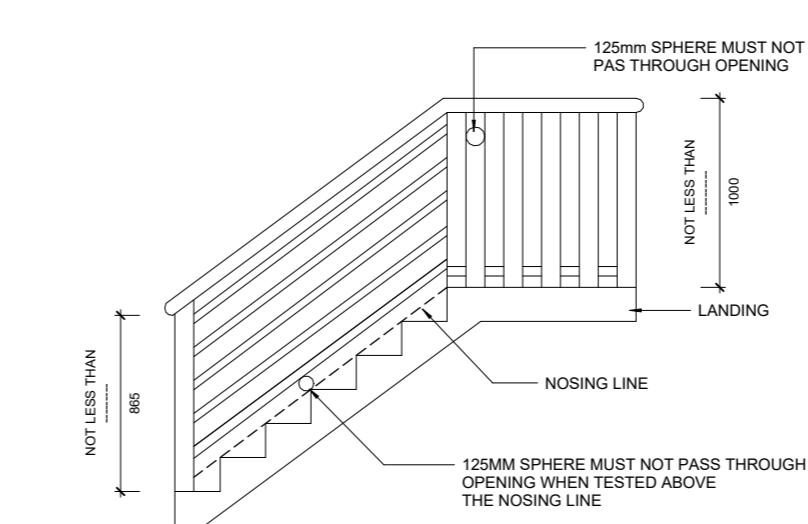
Date: **18/06/2023**

Project No. **02_2023**



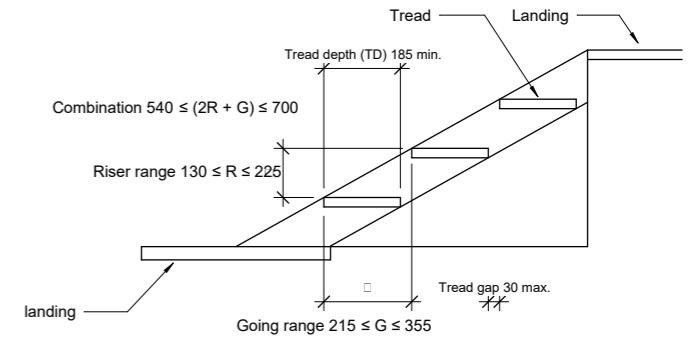
Typical door access

1 1 : 20



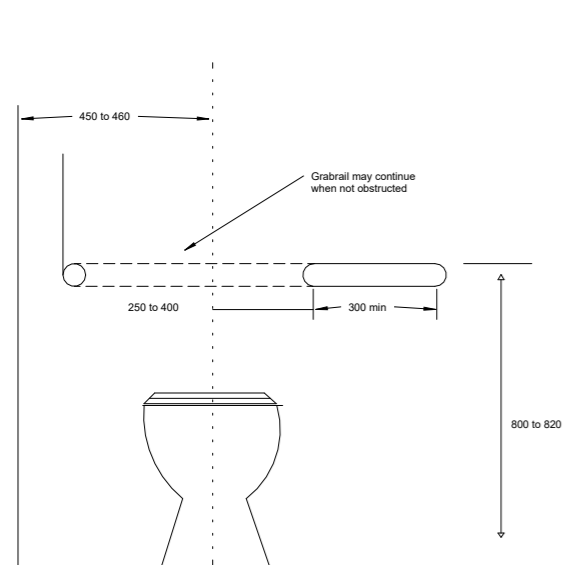
Typical stair detail

2 1 : 20



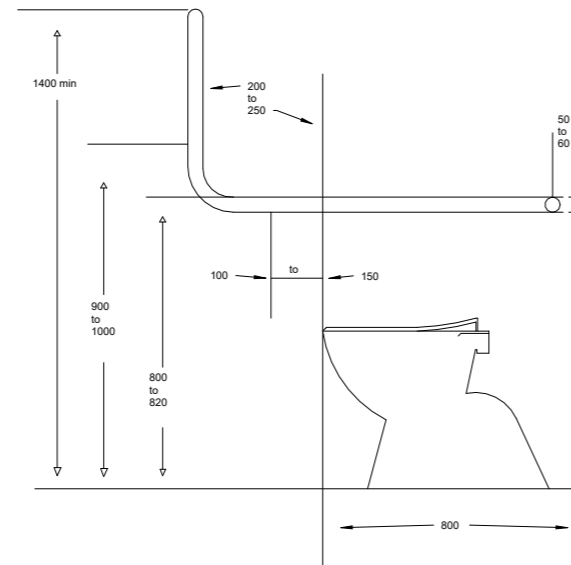
Typical drainage system

6 1 : 20



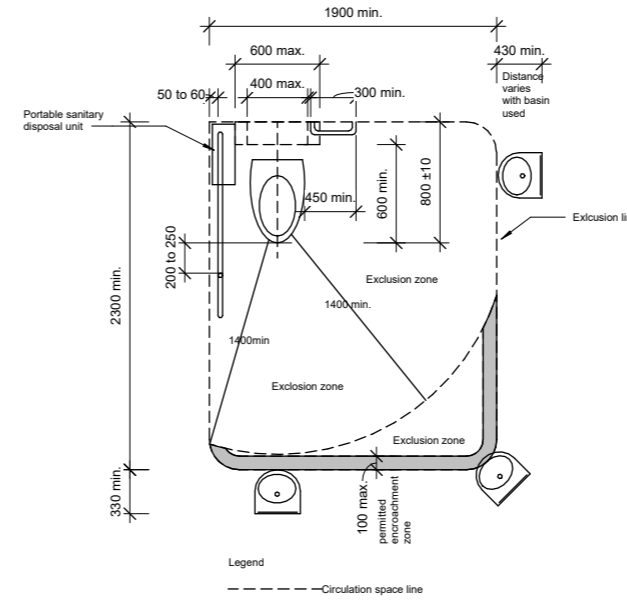
Typical accessible toilet front elevation

3 1 : 100



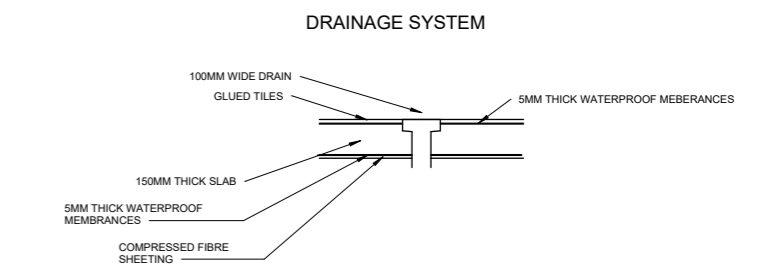
Typical accessible toilet side elevation

4 1 : 100



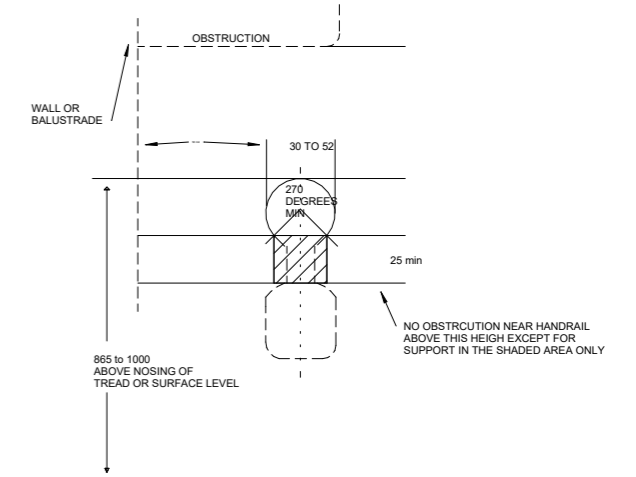
Typical accessible toilet plan view

5 1 : 25



Typical handrail detail

7 1 : 200



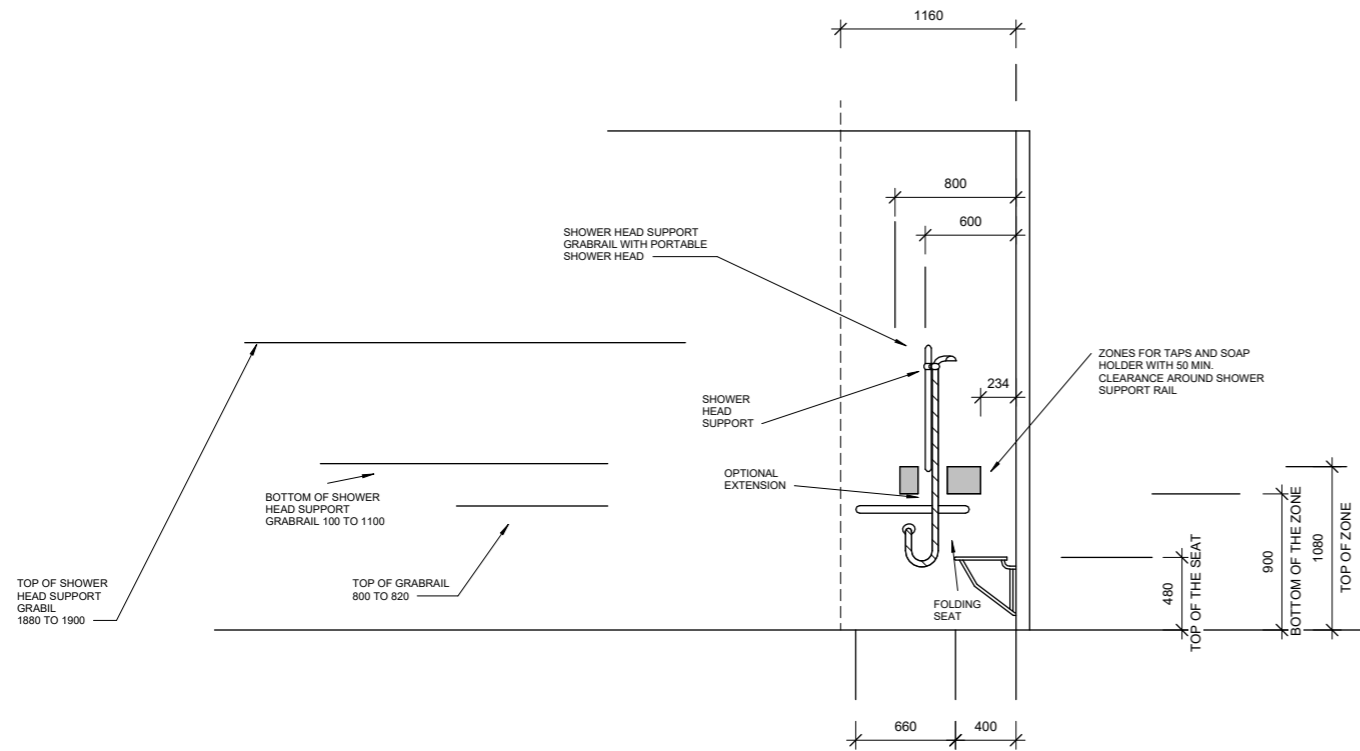
Billi's Building Business
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 Address: 1 Hellothere ave, Melbourne

No.	Description	Date

Client: **G.Naguib**

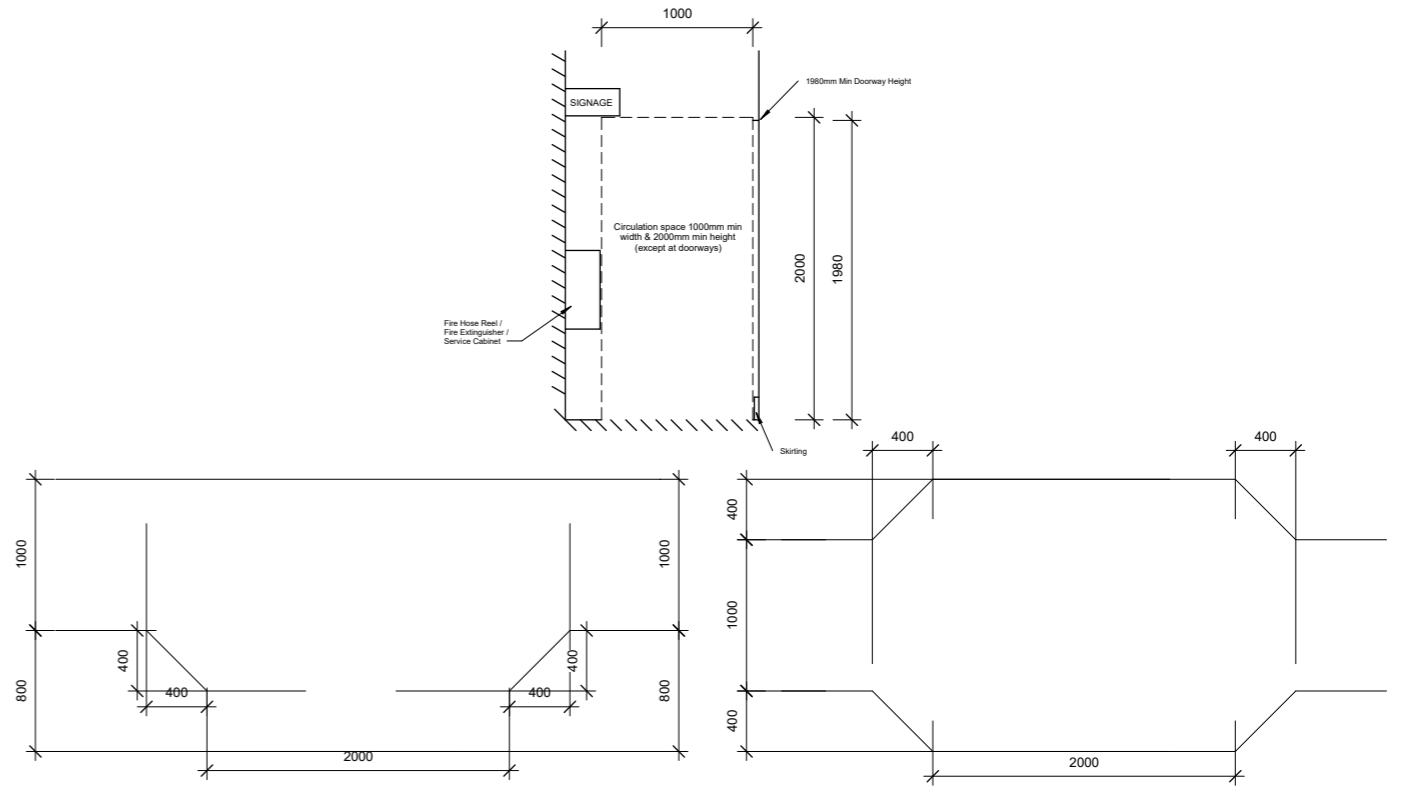
Model: **The OLYMPIAN**
 Sheet: **Typical details 2**
 Number: **063**
 Scale: **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023**
 Project No: **02_2023**



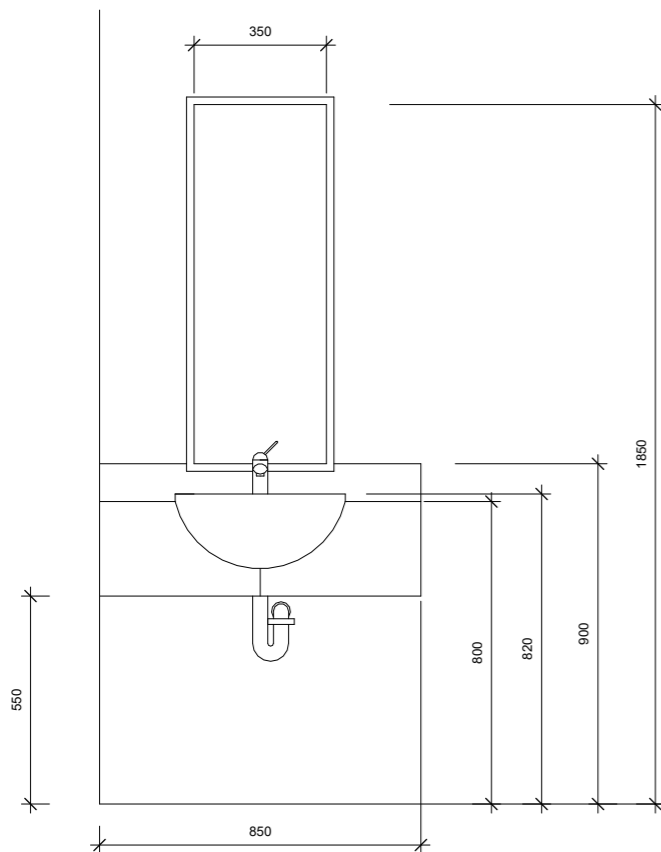
1 Typical shower detail

1 : 25



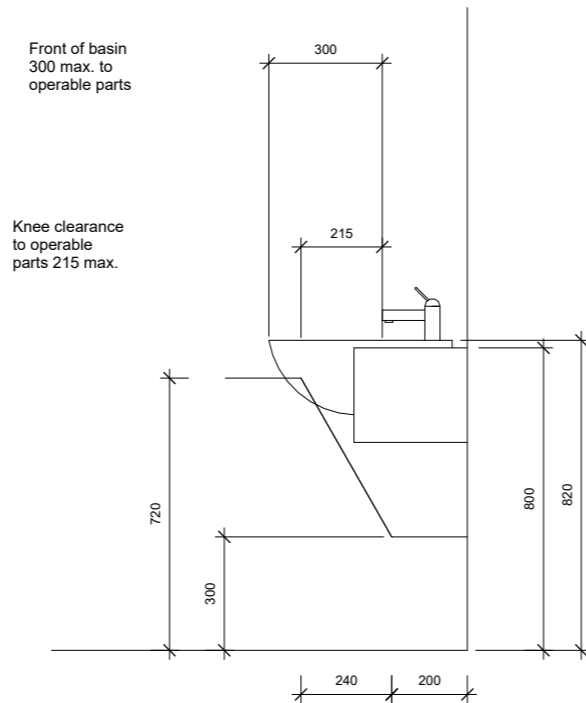
2 Typical accessible passageway

1 : 25



3 Typical accessible sink front elevation

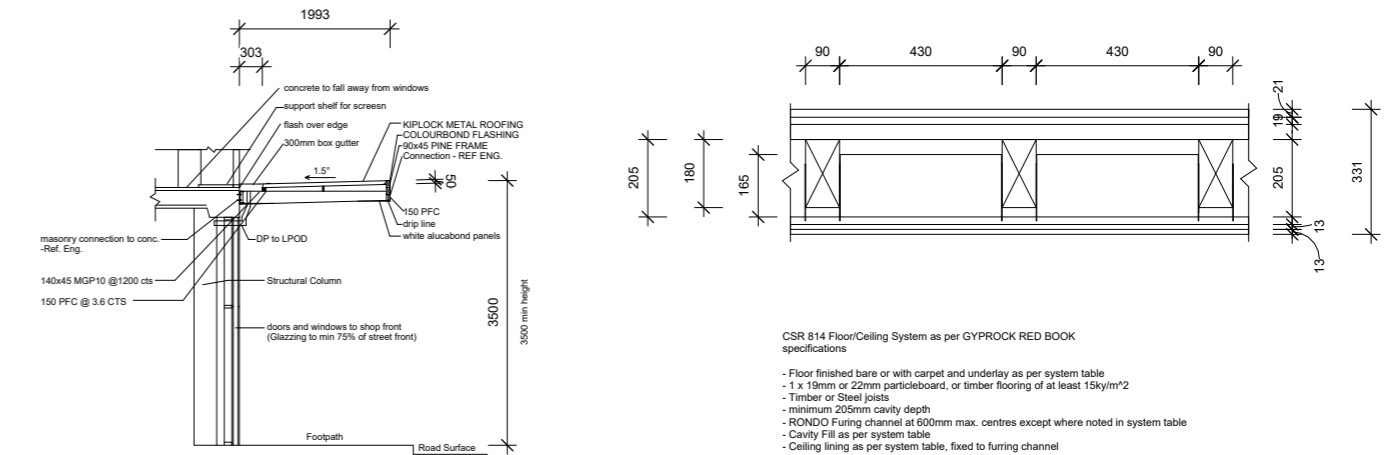
1 : 10



4 Typical accessible sink side elevation

1 : 10

NOTE: LOCATION OF THE KNEE/TOE CLEARANCE ZONE IS DEPENDENT OF THE WALL PLANE

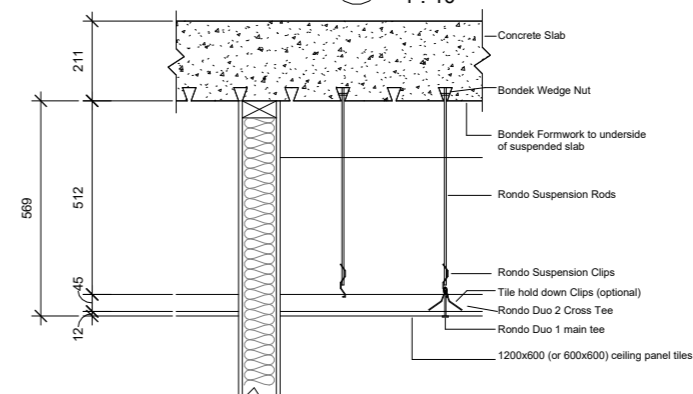


5 Typical canopy detail

1 : 50

6 Typical plasterboard detail

1 : 10



7 Typical suspended ceiling detail

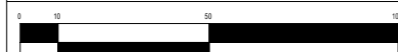
1 : 10



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No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Typical details 3**

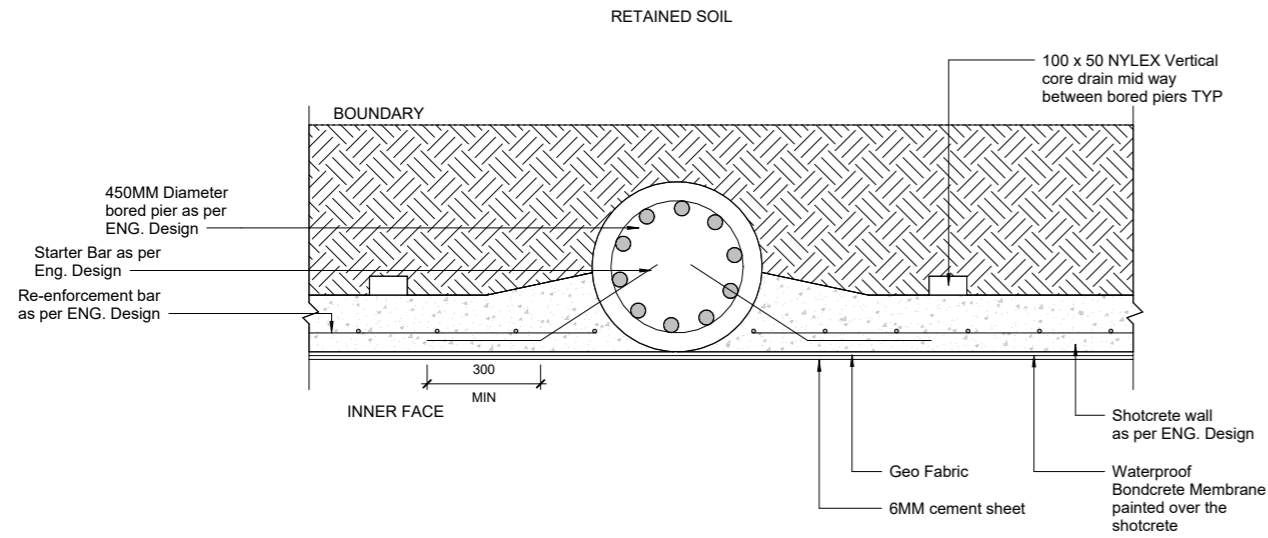
Address: **1153-1157 Burke Road, Kew, Vic**

Number **064**

Scale **As indicated**

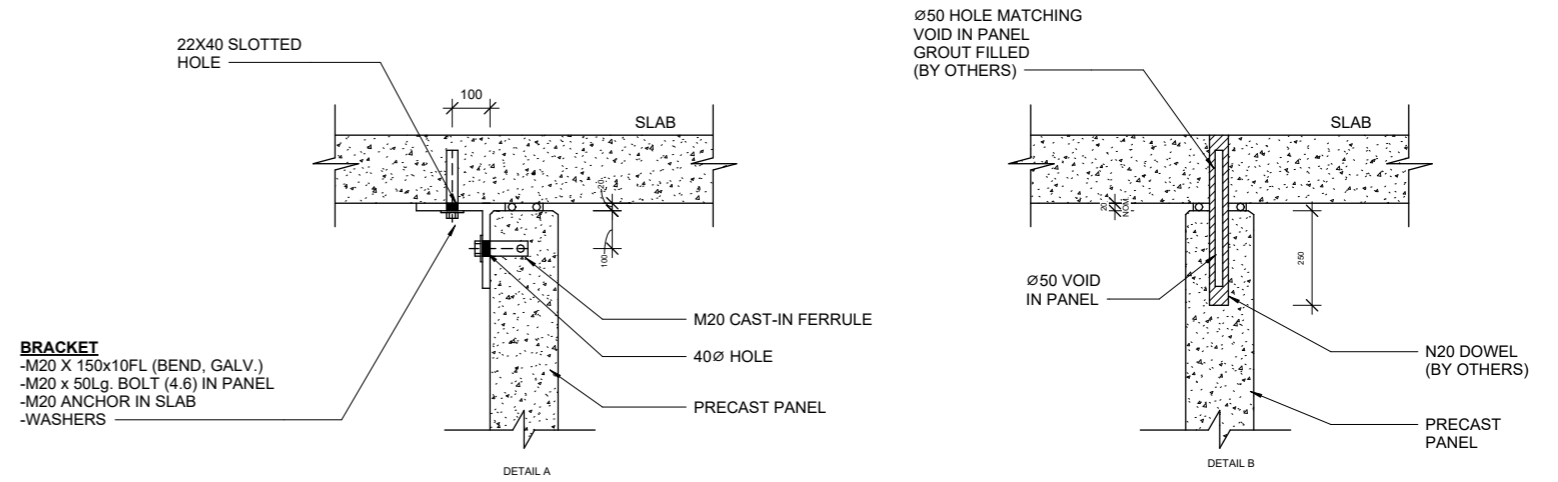
Date: **18/06/2023**

Project No. **02_2023**



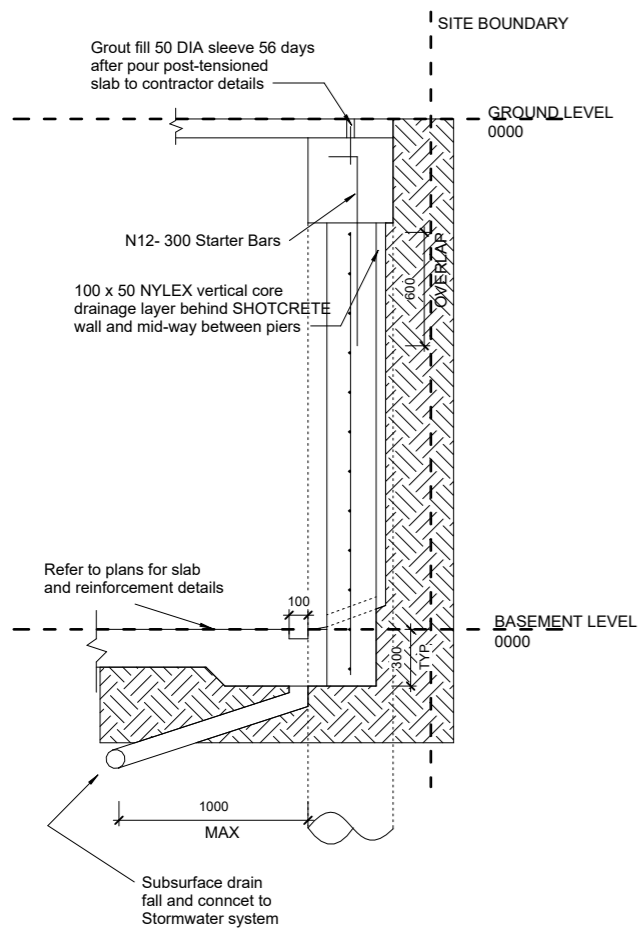
Construction - 01 Bored pier and Shotcrete plan view

1
1 : 10



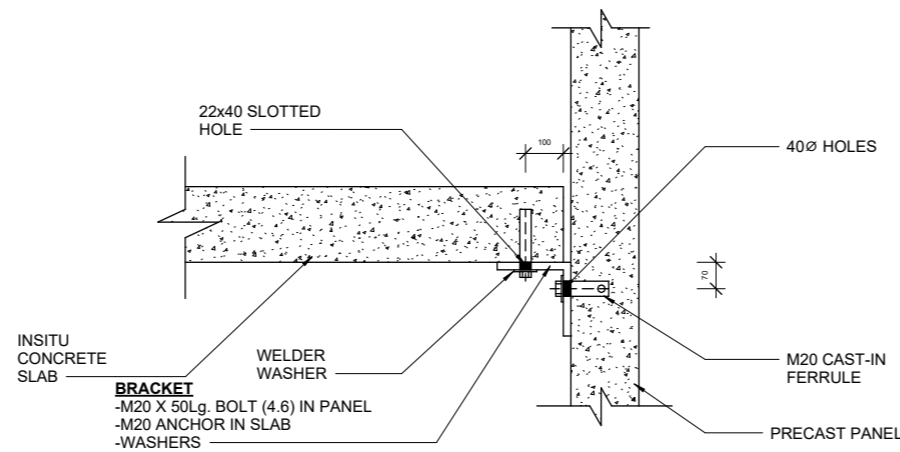
Construction - 03 Tilt panel and suspended slab connection 1

3
1 : 10



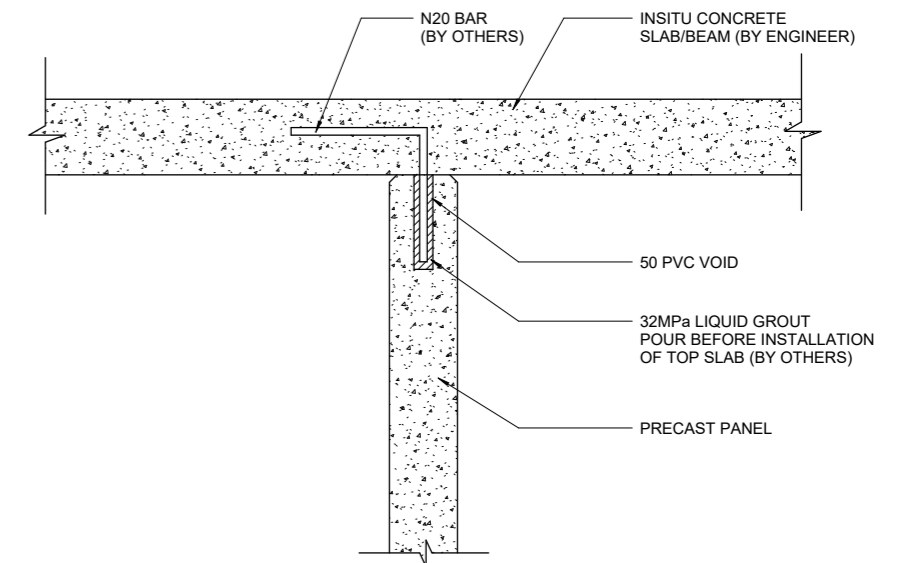
Construction - 02 Bored pier and Shotcrete section view

2
1 : 20



Construction - 04 Tilt panel and suspended slab connection 2

4
1 : 10



Construction - 05 Tilt panel and suspended slab connection 3

5
1 : 10



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Address: 1 Hellothere ave, Melbourne

No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Construction - Detail Page 1**

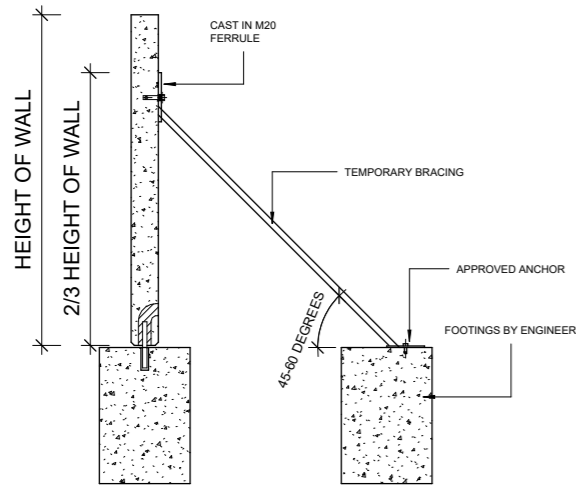
Number **065**

Scale **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**

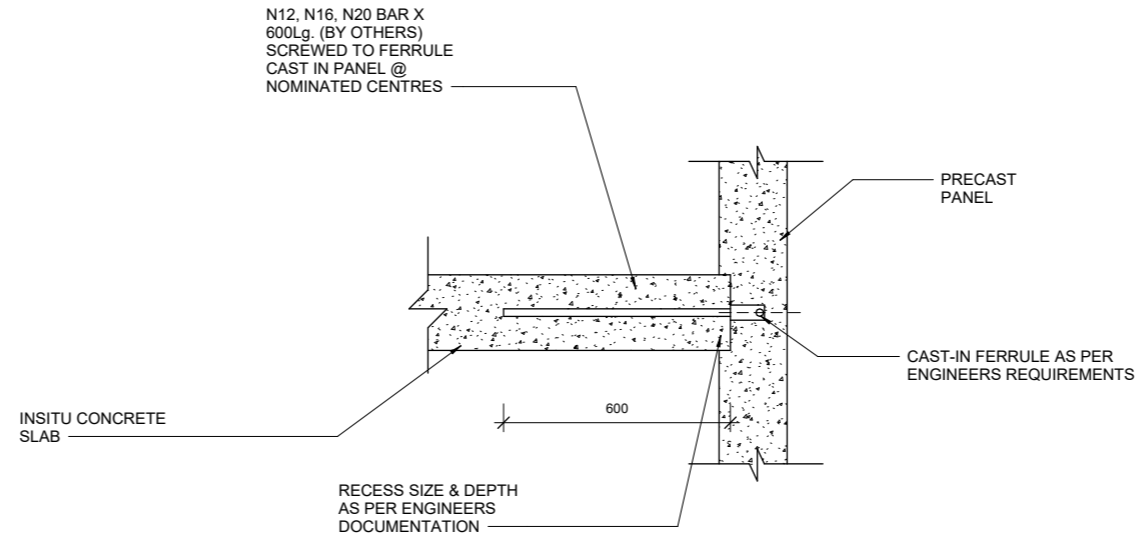
Date: **18/06/2023**

Project No. **02_2023**



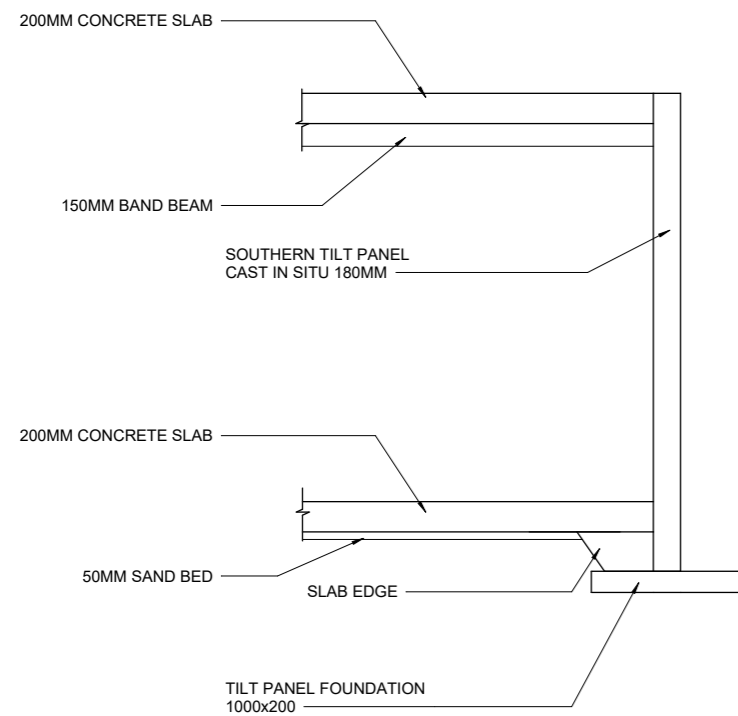
1 Construction - 06 Tilt panel temporary brace detail

1 : 25



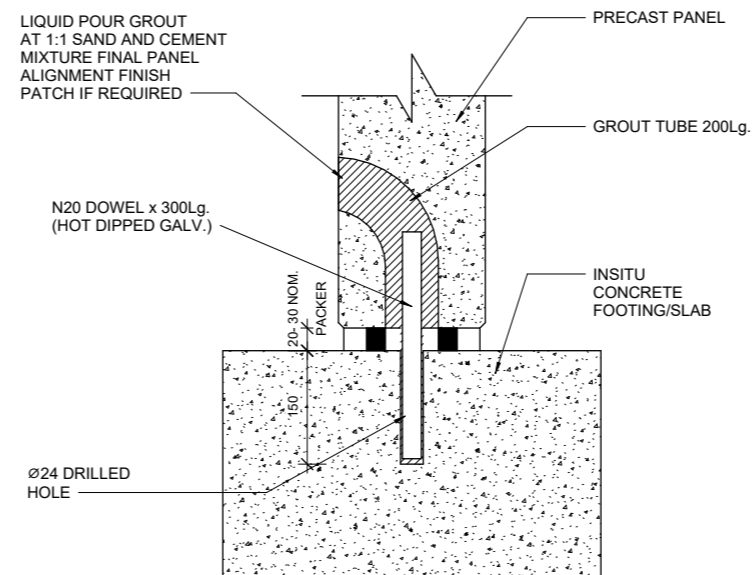
3 Construction - 08 Tilt panel and suspended concrete slab connection types - detail

1 : 10



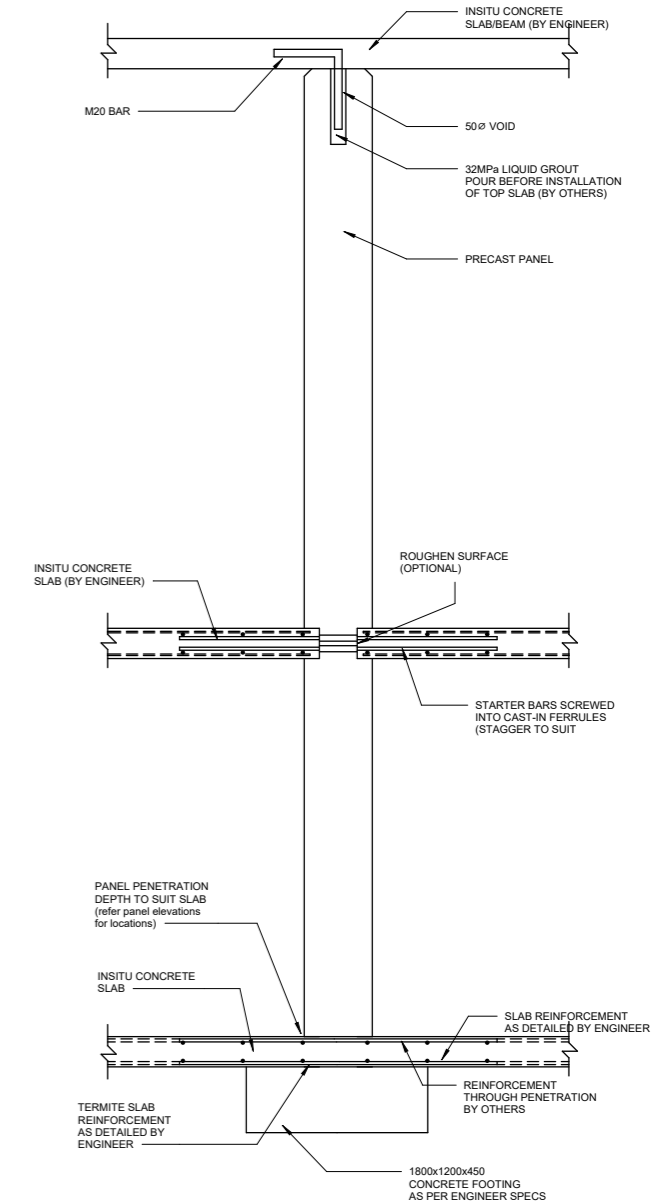
2 Construction - 07 Southern tilt panel retaining wall and basement concrete slab details

1 : 25



5 Construction - 10 Tilt panel footings- detail

1 : 5



4 Construction - 09 Concrete column, mass pad footing and band beam

1 : 25



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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Construction - Detail Page 2**

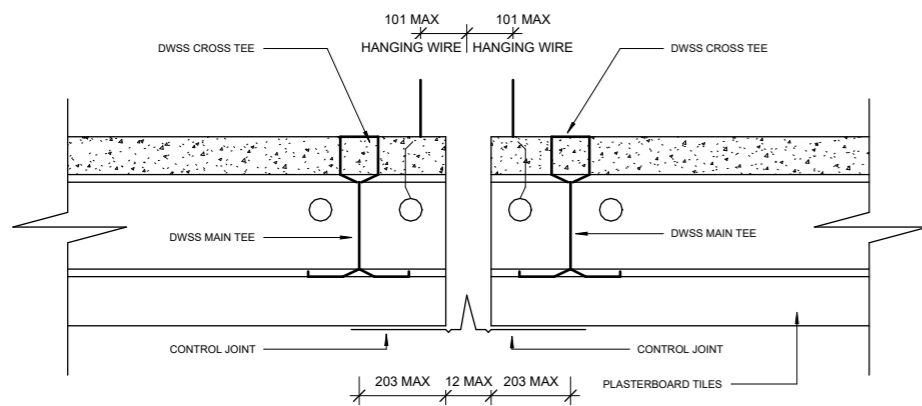
Number **066**

Scale **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

Project No. **02_2023**

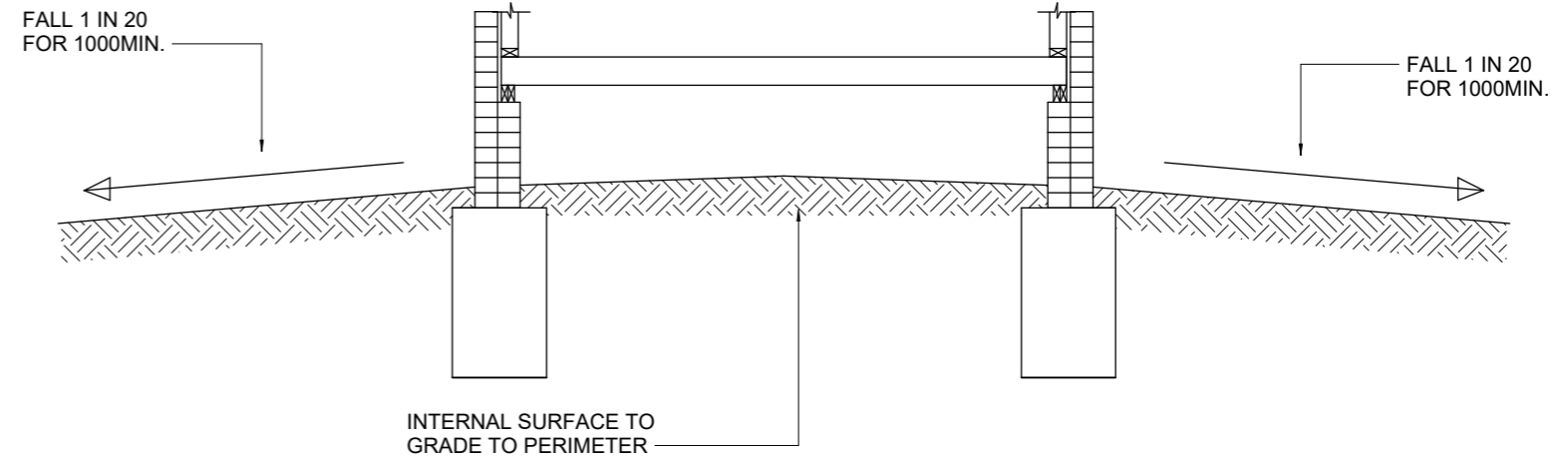


Construction - 11 Suspended tile ceiling details from Burke Rd project - details

1 1:1

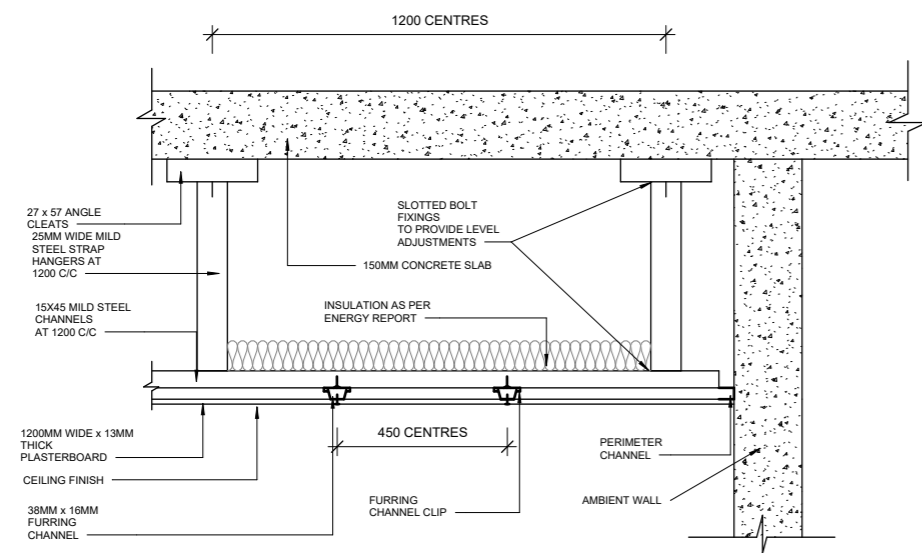
DRAINAGE REQUIREMENTS
AS PER AS2870-2011 SECTION 5.6.3

1. SURFACE DRAINAGE OF SITE TO BE CONTROLLED FROM START OF SITE PREPARATION AND SHOULD BE COMPLETED BY END OF CONSTRUCTION
2. TRENCH BASES TO SLOPE AWAY FROM BUILDING
3. TOP 300MM OF TRENCHES TO BE BACKFILLED WITH MOIST COMPACTED CLAY WITHIN 1.5M FROM THE BUILDING
4. TRENCHES UNDER FOOTING TO BE PLUGGED WITH CLAY
5. SUBSOIL DRAINS NOT TO BE WITHIN 1.5M FROM BUILDING UNLESS DESIGN IN ACCORDANCE WITH ENGINEERING PRINCIPLES



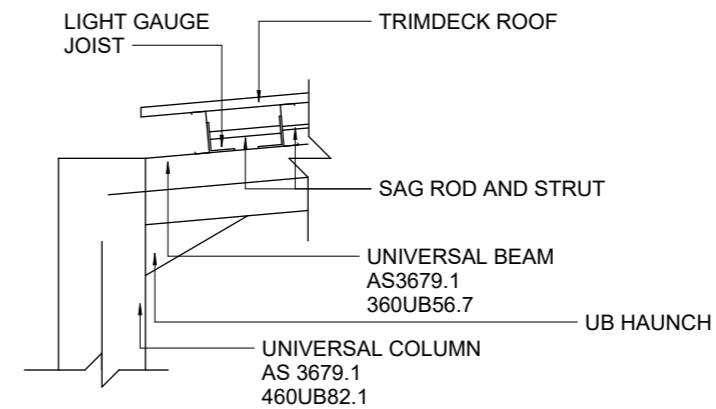
Construction - 13 Surface Draining details (as instructed by your teacher) -details

3 1:20



Construction - 12 Fixed ceiling details from Burke rd project - details

2 1:10



Construction - 14 Beam connection details

4 1:20



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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Construction - Detail Page 3**

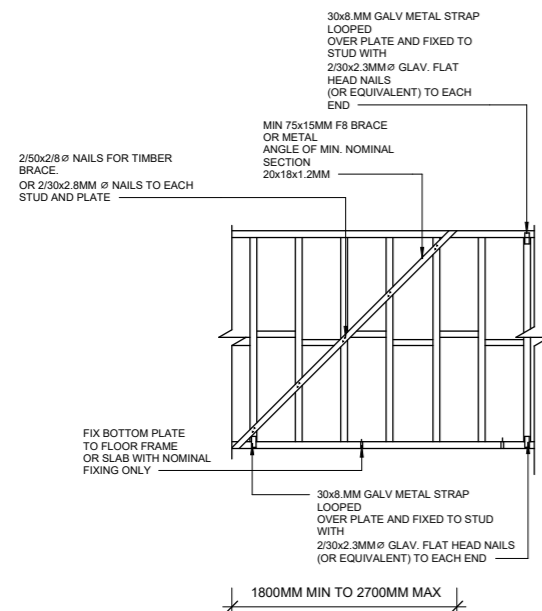
Number **067**

Scale **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**

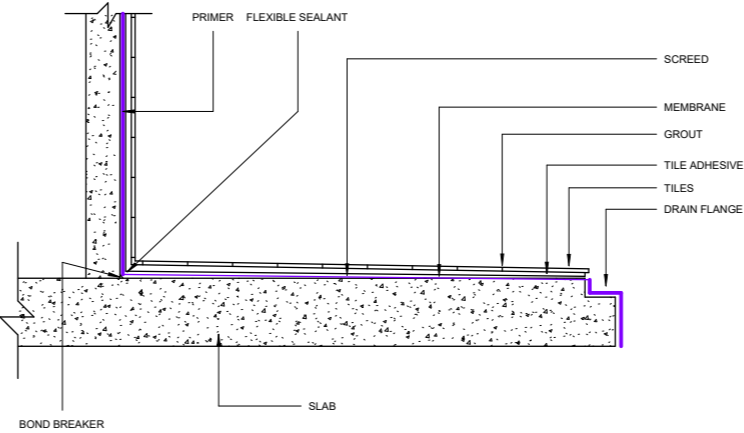
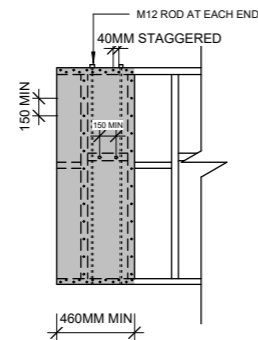
Date: **18/06/2023**

Project No. **02_2023**



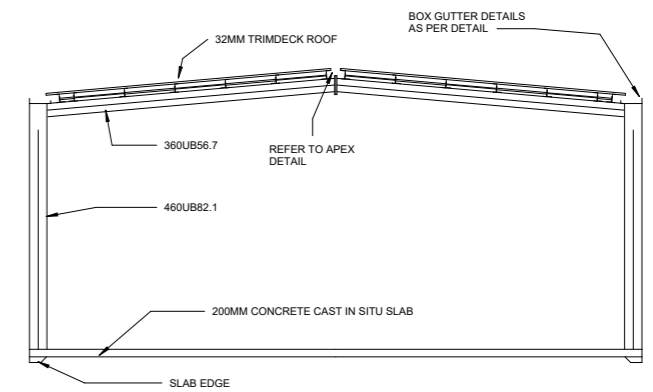
Construction - 15 Bracing and Tie-down details

1
1 : 50



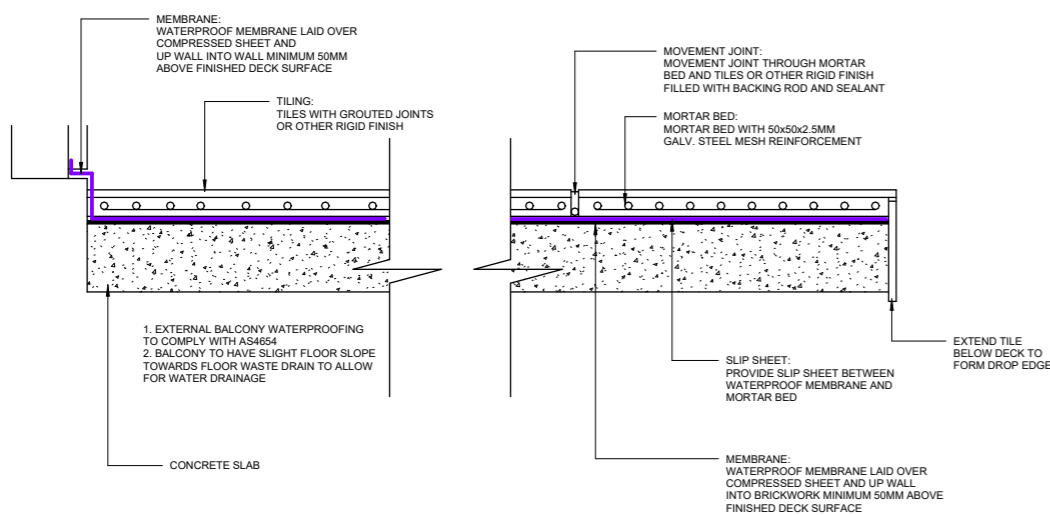
Construction - 17 Wet area materials and sealing of wall and flooring junctions details

3
1 : 10



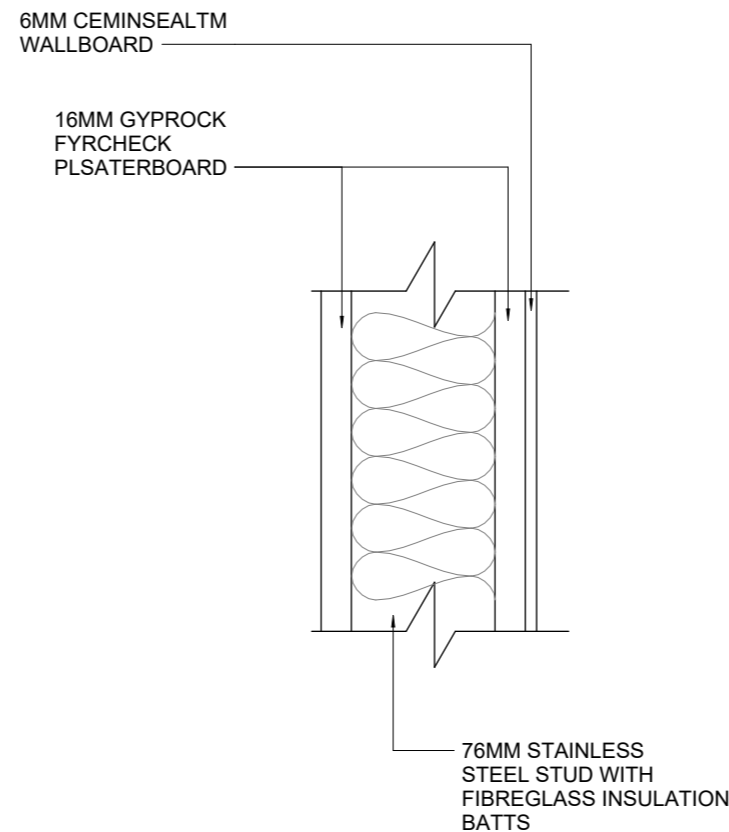
Construction - 20 Steel framing warehouse

4
1 : 100



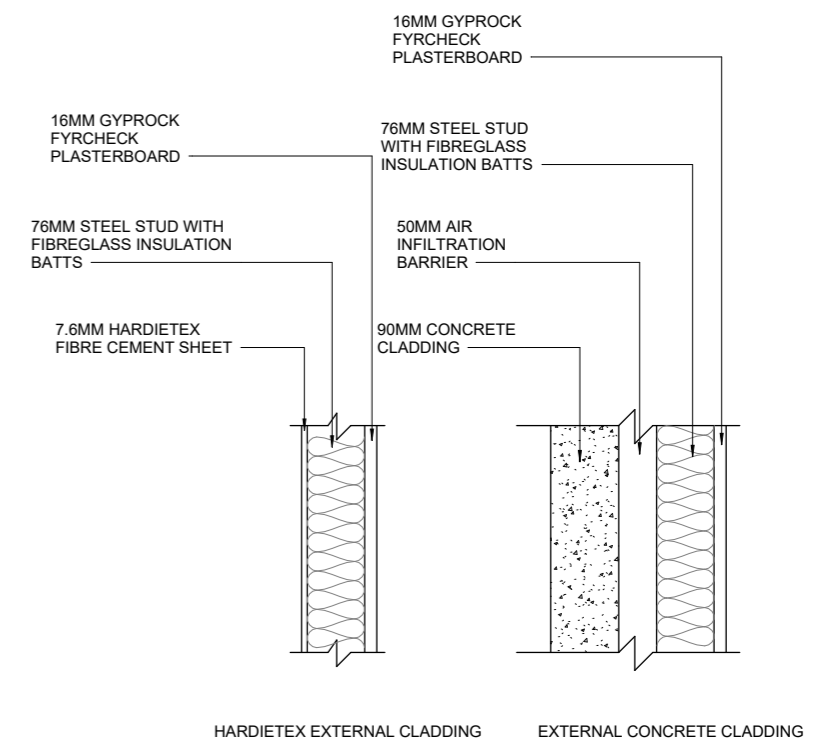
Construction - 16 Balcony waterproofing details

2
1 : 10



Construction - 18 Internal wall details including sound insulation - details

5
1 : 2



Construction - 19 External wall details

6
1 : 5



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Address: 1 Hellothere ave, Melbourne

No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Construction - Detail Page 4**

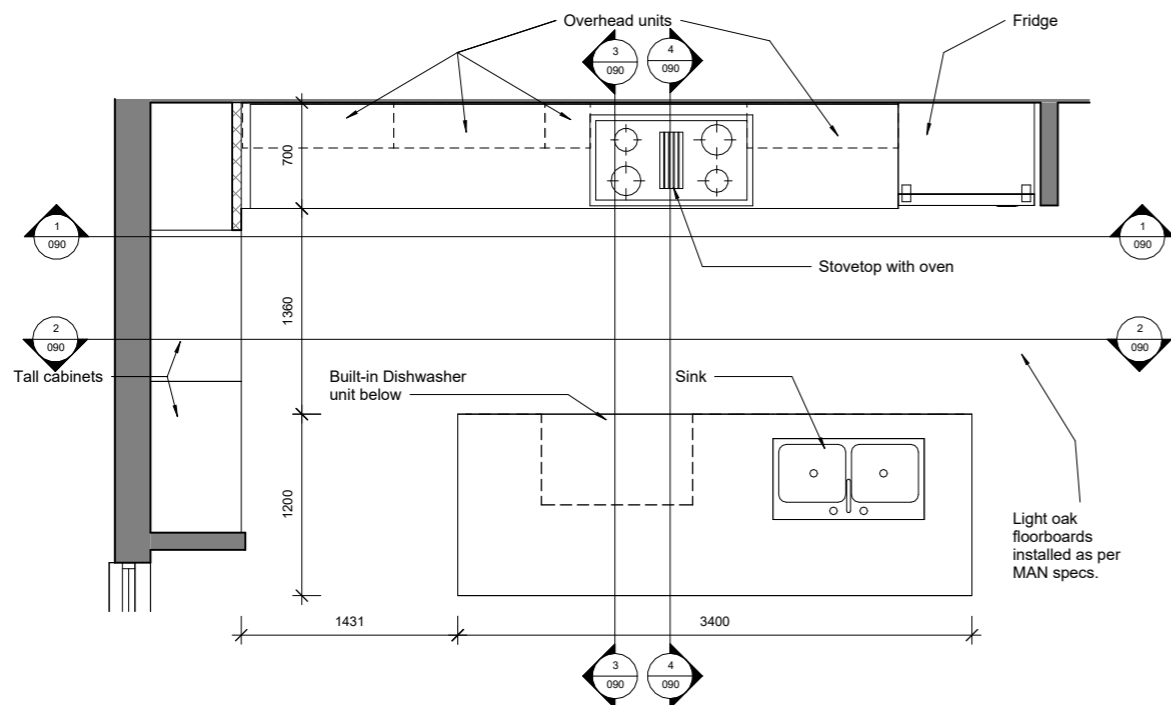
Number **068**

Scale **As indicated**

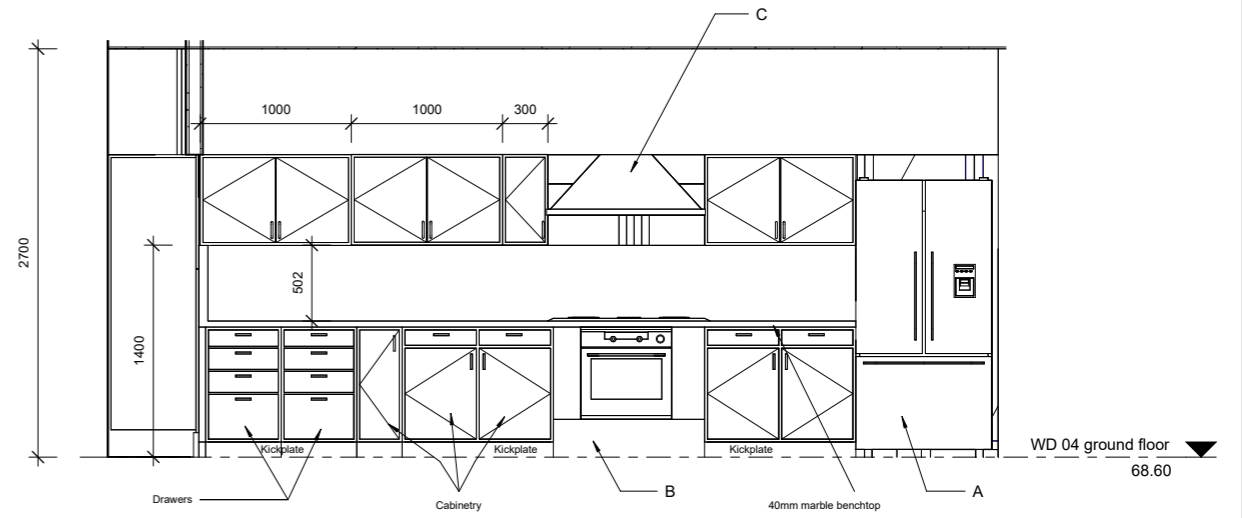
Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

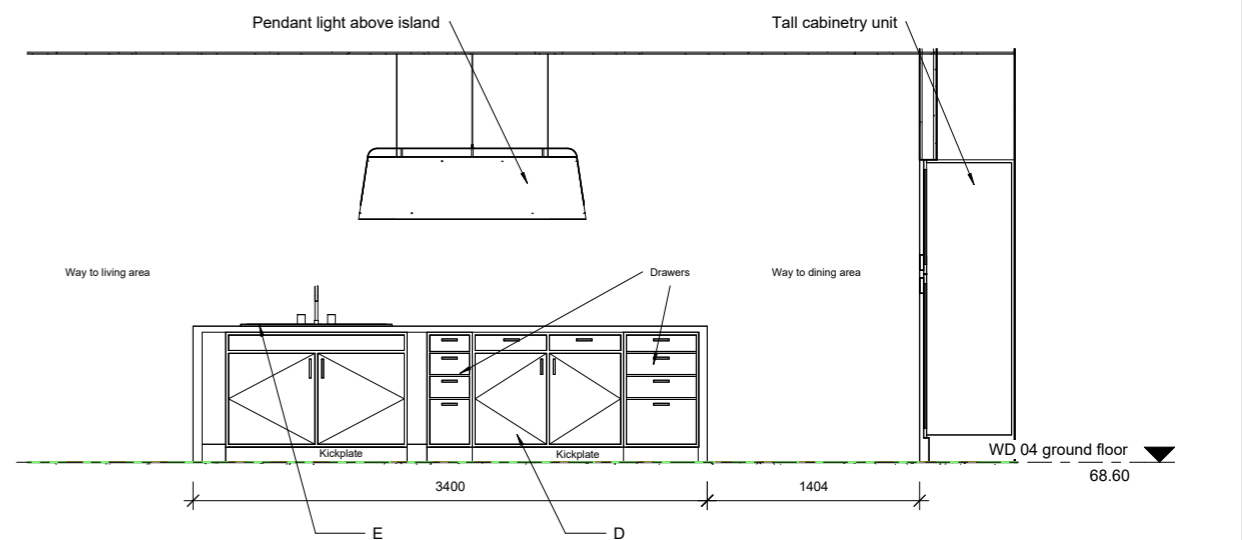
Project No. **02_2023**



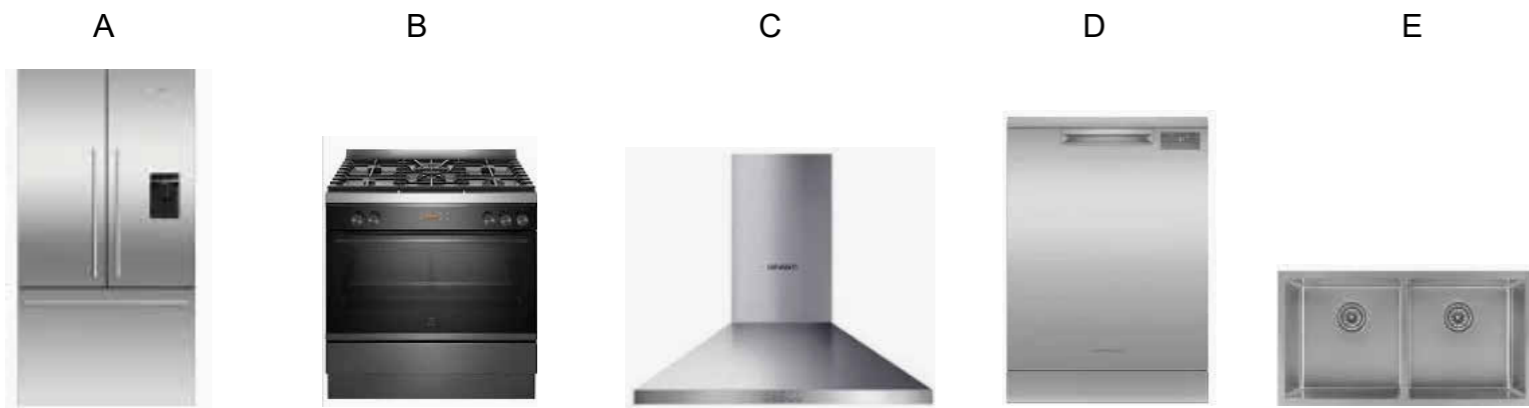
5 WD 07 kitchen
1 : 25



1 Kitchen Section 1
1 : 25



2 Kitchen Section 2
1 : 25



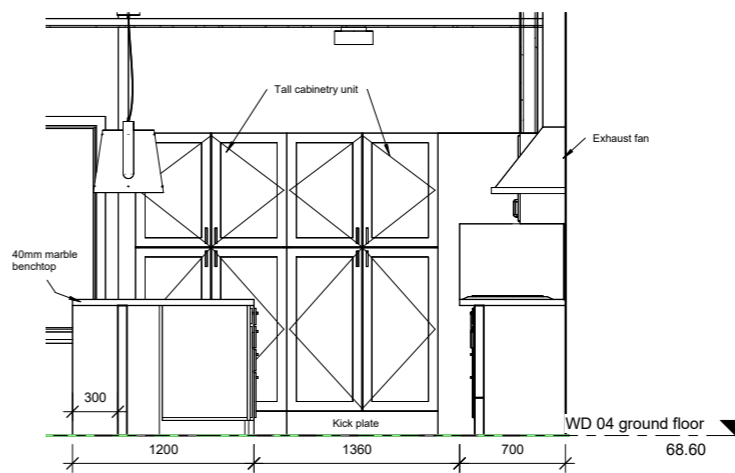
Fisher & Paykel 569L ActiveSmart French Door Fridge 900x695x1790

Electrolux 90cm Dual Fuel Freestanding Cooker 895x600x930

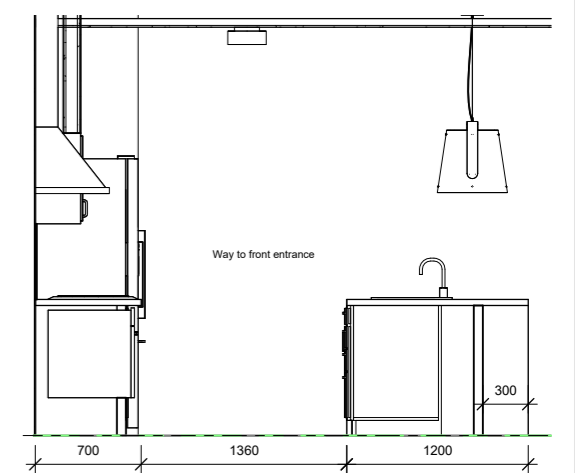
Smeg 90cm Classic Aesthetic Canopy Rangehood 898x470x250

Fisher & Paykel 60cm Freestanding Dishwasher Sanitise Series 5 596x600x848

Zalo Double Kitchen Sink 855x450x200



3 Kitchen Section 3
1 : 25



4 Kitchen Section 4
1 : 25



Billi's Building Business
Mobile: 0412 345 678
Email: 103993349@student.swin.edu.au
Address: 1 Hellothere ave, Melbourne

No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Internal Details - Kitchen**

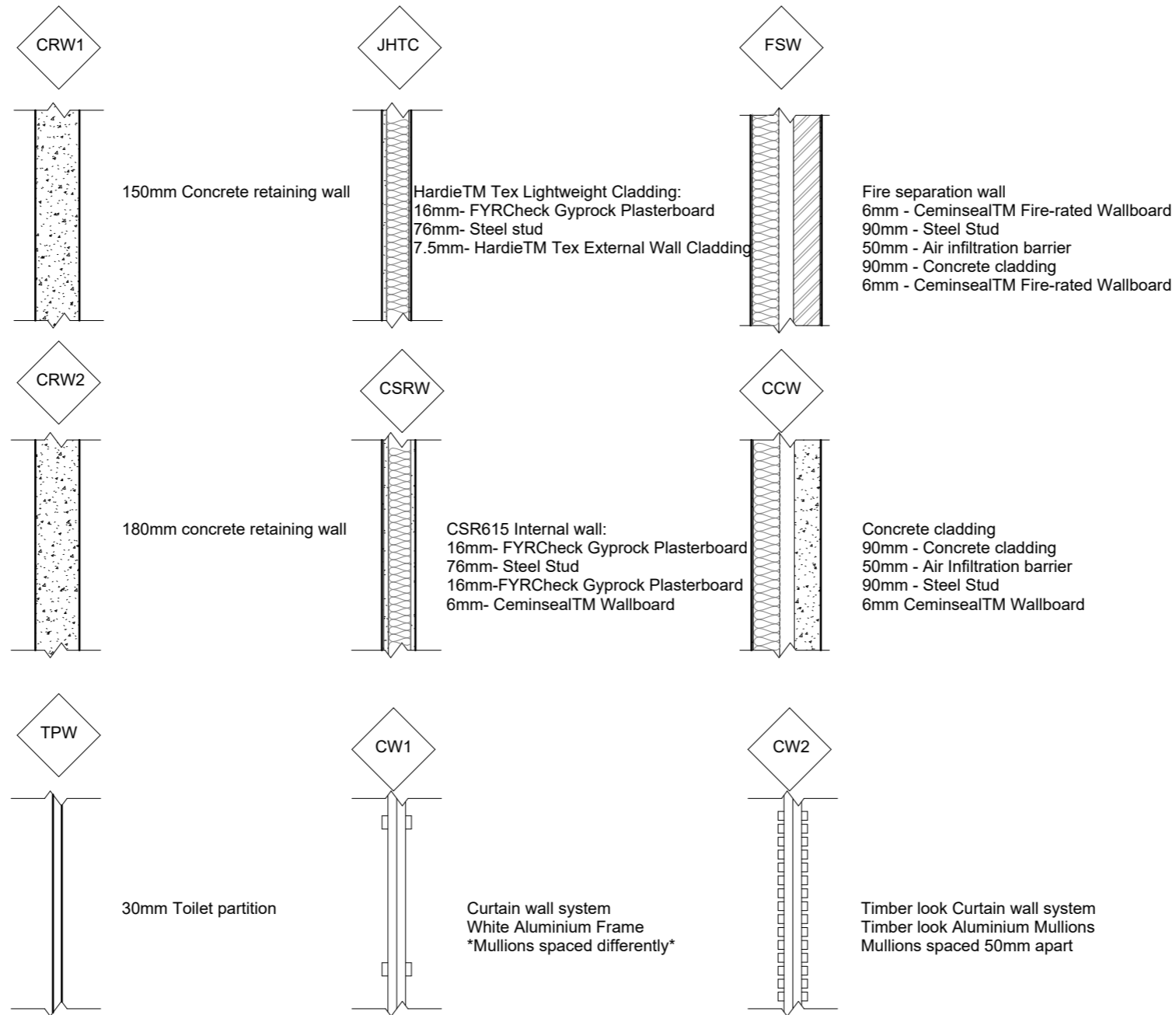
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Scale **1 : 25**

Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

Project No. **02_2023**

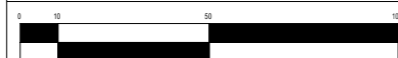


00 - Wall LEGEND
1 : 10



Billi's Building Business
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No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Wall Schedule**

Address: **1153-1157 Burke Road, Kew, Vic**

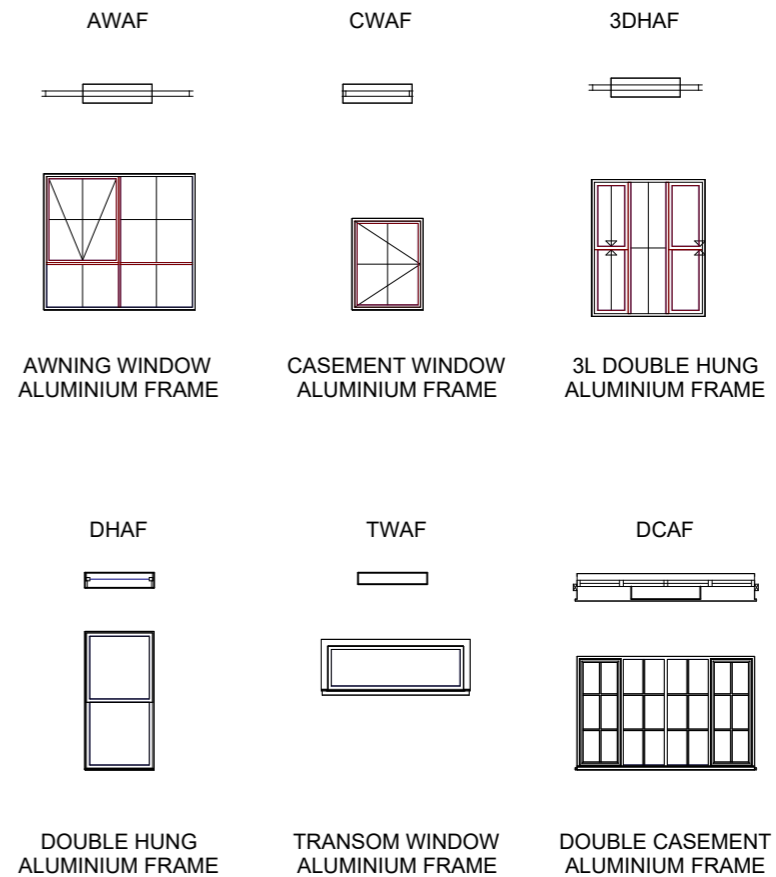
Number **070**

Scale **1 : 10**

Date: **18/06/2023**

Project No. **02_2023**

02 - Window Schedule					
Mark	Location	Tag	Width	Height	Glazing
1 GF					
1	1 GF	AWAF	2000	1800	
2	1 GF	AWAF	2000	1800	
3	1 GF	DCAF	2348	1500	
4	1 GF	DCAF	2348	1500	
5	1 GF	DCAF	2348	1500	
6	1 GF	DCAF	2348	1500	
1 GF: 6					
2 FF					
7	2 FF	DHAF	915	1830	
8	2 FF	DCAF	2348	1500	
9	2 FF	DCAF	2348	1500	
10	2 FF	DHAF	915	1830	
11	2 FF	TWAF	1830	610	
12	2 FF	TWAF	1830	610	
13	2 FF	TWAF	915	610	
14	2 FF	TWAF	915	610	
15	2 FF	TWAF	915	610	
16	2 FF	TWAF	915	610	
17	2 FF	TWAF	915	610	
18	2 FF	DCAF	2348	1500	
19	2 FF	DCAF	2348	1500	
2 FF: 13					
3 SF					
20	3 SF	TWAF	915	610	
21	3 SF	TWAF	915	610	
3 SF: 2					



*NOTE ALL WINDOW SIZES COULD BE DIFFERENT, REFER TO SCHEDULE.
CURTAIN WALL WITH GLASS PANELS NOT INCLUDED*

02 - Window Legend

1 : 50



Billi's Building Business

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Email: 103993349@student.swin.edu.au
Address: 1 Hellothere ave, Melbourne

No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Window Schedule**

Address: **1153-1157 Burke Road, Kew, Vic**

Number **071**

Scale **1 : 50**

Date: **18/06/2023**

Project No. **02_2023**

Door Schedule					
Level	Mark	Tag	Height	Width	Thickness
WD 03 basement	1	SFD	2032	864	51
WD 03 basement	2	SFD	2032	864	51
WD 03 basement	3	SFD	2032	864	51
WD 03 basement	4	SFD	2032	864	51
WD 03 basement	5	SFD	2032	864	51
WD 03 basement	6	SFD	2032	864	51
WD 03 basement	7	SFD	2032	864	51
WD 03 basement	8	SFD	2032	864	51
WD 03 basement	9	SFD	2032	864	51

WD 03 basement: 9

WD 04 ground floor	10	CWS	2675	1425	
WD 04 ground floor	11	CWD	2675	1282	
WD 04 ground floor	12	GASD	2500	1946	
WD 04 ground floor	13	CWD	2675	1425	
WD 04 ground floor	14	CWD	2675	1450	
WD 04 ground floor	15	CWD	2675	1450	
WD 04 ground floor	16	CWS	2675	1425	
WD 04 ground floor	17	CWS	2675	1450	
WD 04 ground floor	18	KLNP	2150	900	85
WD 04 ground floor	19	KLNP	2150	900	85
WD 04 ground floor	20	SFD	2134	864	51
WD 04 ground floor	21	SPD	2000	600	
WD 04 ground floor	22	SFD	2134	864	51
WD 04 ground floor	23	SFD	2134	864	51
WD 04 ground floor	24	SPD	2000	1200	
WD 04 ground floor	25	SPD	2000	600	
WD 04 ground floor	26	SPD	2000	600	
WD 04 ground floor	27	SFD	2134	864	51
WD 04 ground floor	28	SPD	2000	600	
WD 04 ground floor	29	SFD	2134	864	51
WD 04 ground floor	30	SFD	2134	864	51
WD 04 ground floor	31	SFD	2134	864	51
WD 04 ground floor	32	CWS	1900	955	
WD 04 ground floor	33	SFD	2134	813	51
WD 04 ground floor	34	SFD	2032	762	51
WD 04 ground floor	35	SFD	2032	762	51
WD 04 ground floor	36	SFD	2032	762	51
WD 04 ground floor	37	SFD	2032	762	51
WD 04 ground floor	38	SFD	2032	762	51
WD 04 ground floor	39	GASD	2500	1946	
WD 04 ground floor	40	SFD	2134	813	51
WD 04 ground floor	41	SFCD	2083	610	100
WD 04 ground floor	42	SFD	2032	864	51
WD 04 ground floor	44	SFD	2032	864	51
WD 04 ground floor	45	SFD	2134	915	51

WD 04 ground floor: 35

Door Schedule					
Level	Mark	Tag	Height	Width	Thickness
WD 05 first floor	46	CWS	2600	1425	
WD 05 first floor	47	CWS	2600	1425	
WD 05 first floor	48	SFD	2134	864	51
WD 05 first floor	49	SFD	2134	864	51
WD 05 first floor	50	SFD	2134	864	51
WD 05 first floor	51	SPD	2000	600	
WD 05 first floor	52	SPD	2000	600	
WD 05 first floor	53	SPD	2000	600	
WD 05 first floor	54	SPD	2000	600	
WD 05 first floor	55	SPD	2000	600	
WD 05 first floor	56	SPD	2000	600	
WD 05 first floor	57	SPD	2000	600	
WD 05 first floor	58	SPD	2000	600	
WD 05 first floor	59	SPD	2000	1000	
WD 05 first floor	60	SFD	2134	864	51
WD 05 first floor	61	SFD	2134	864	51
WD 05 first floor	62	SPD	2000	1200	
WD 05 first floor	63	SPD	2000	1200	
WD 05 first floor	64	SPD	2000	1000	
WD 05 first floor	65	SPD	2000	1000	
WD 05 first floor	66	SFD	2032	864	51
WD 05 first floor	67	SFD	2032	864	51
WD 05 first floor	68	SFD	2032	864	51
WD 05 first floor	69	GASD	2500	1946	

WD 05 first floor: 24

04 OFFICE (LAWYERS)	70	CWD	2000	1916	
04 OFFICE (LAWYERS)	71	CWD	2000	1916	
04 OFFICE (LAWYERS)	72	DASD	0	0	0
04 OFFICE (LAWYERS)	73	CWD	2675	1450	
04 OFFICE (LAWYERS)	74	CWD	2000	1801	
04 OFFICE (LAWYERS)	75	CWD	2000	1801	
04 OFFICE (LAWYERS)	76	SFD	2134	813	51
04 OFFICE (LAWYERS)	77	SFD	2134	813	51
04 OFFICE (LAWYERS)	78	SFD	2032	864	51
04 OFFICE (LAWYERS)	79	SFD	2032	864	51

04 OFFICE (LAWYERS): 10

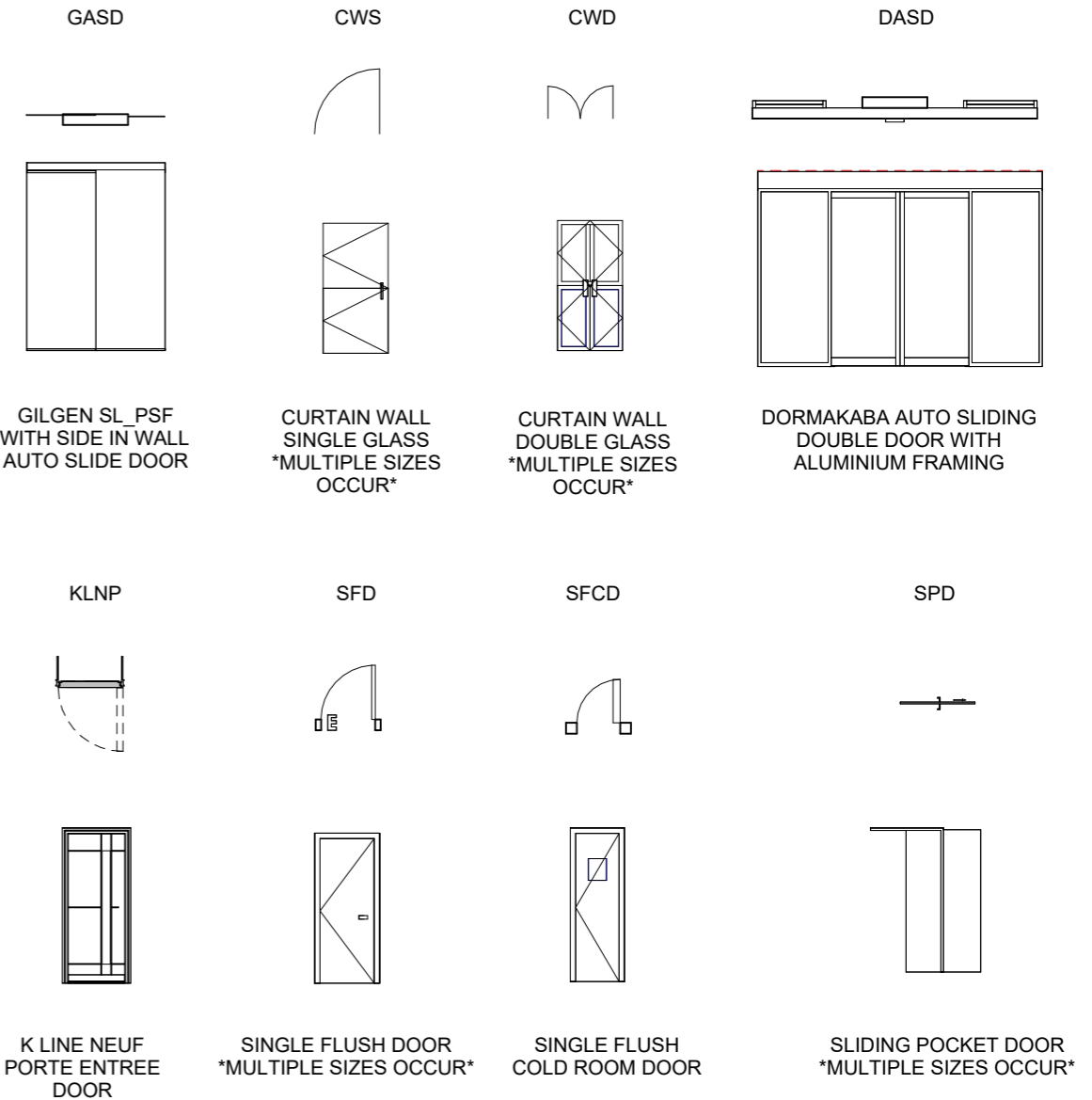
EP 03 SF Lighting Plan	80	CWD	2675	1450	
EP 03 SF Lighting Plan	81	CWD	2675	1425	
EP 03 SF Lighting Plan	82	SFD	2032	864	51
EP 03 SF Lighting Plan	83	SFD	2032	864	51

EP 03 SF Lighting Plan: 4

WD 06 second floor	84	CWD	2675	1273	
WD 06 second floor	85	CWD	2700	1794	
WD 06 second floor	86	DASD	0	0	0
WD 06 second floor	87	SFD	2032	864	51
WD 06 second floor	88	SFD	2032	864	51
WD 06 second floor	89	SFD	2032	864	51
WD 06 second floor	90	SFD	2032	864	51

WD 06 second floor: 7

Grand total: 89



01 - Door Legend
1 : 50

Billi's Building Business
 Mobile: 0412 345 678
 Email: 103993349@student.swin.edu.au
 Address: 1 Hellothere ave, Melbourne

No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Door Schedule**

Address: **1153-1157 Burke Road, Kew, Vic**

Number: **072** Scale: **1 : 50** Date: **18/06/2023** Project No: **02_2023**

NOTE CURTAIN WALLS ARE NOT INCLUDED IN SCHEDULES. LIGHT AND VENTILATION SCHEDULES ARE FOR THE NORTH APARTMENT HABITABLE ROOMS

LIGHT SCHEDULE

Room Name	Window Number	Room floor area m ²	Required light	Window width	Window height	Window area m ²	Light compliance
Dining/Living	W22	31.00	3.10	2.35	1.50	3.53	YES
	W23			2.35	1.50	3.53	
Master Bedroom	W08	15.0	1.5	0.92	1.83	1.68	YES
	D47			1.43	2.6	3.72	
Bedroom 2	W24	12.0	1.2	2.35	1.5	3.53	YES
Bedroom 3	W25	12.0	1.2	2.35	1.5	3.53	YES
Bedroom 4	D10	13.0	1.3	1.43	2.8	4.00	YES

VENTILATION SCHEDULE

Room name	Window Number	Room floor area	Required ventilation	Ventilation % of openable window portion	Window width	Window height	Window area	Window Config	Openable Area m ²	Ventilation area m ²	Room Ventilation %	Ventilation compliance
Dining / Living	W22	31.00	1.55	40.0%	2.35	1.50	3.53	XOOX 40.0%	1.41	0.56	3.64%	YES
	W33			40.0%	2.35	1.50	3.53	XOOX 40.0%	1.41	0.56		
Master Bedroom	W28	15	0.75	40.0%	0.92	1.83	1.68	XO 50.0%	0.84	0.34	2.24%	YES
Bedroom 2	W24	12	0.60	40.0%	2.35	1.50	3.53	XOOX 50.0%	1.76	0.71	5.88%	YES
Bedroom 3	W25	12.0	0.60	40.0%	2.35	1.50	3.53	XOOX 50.0%	1.76	0.71	5.88%	YES
Bedroom 4	D10	13.0	0.65	75.0%	1.43	2.80	4.00	O 100.0%	4.00	3.00	23.10%	YES



Billi's Building Business
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 Email: 103993349@student.swin.edu.au
 Address: 1 Hellothere ave, Melbourne

No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Light and Ventilation Schedule**

Number **073**

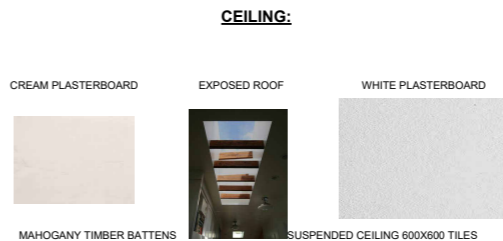
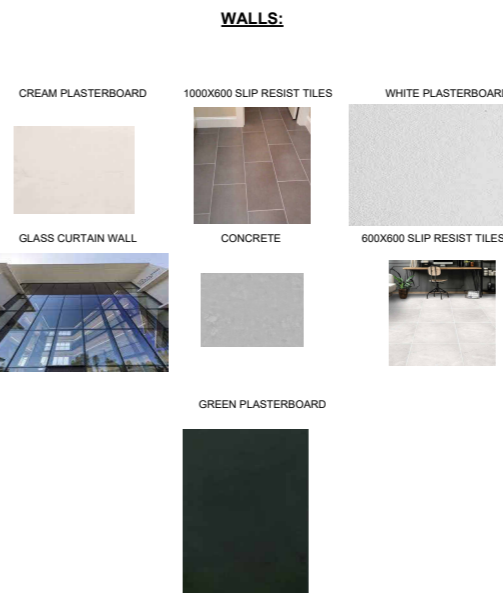
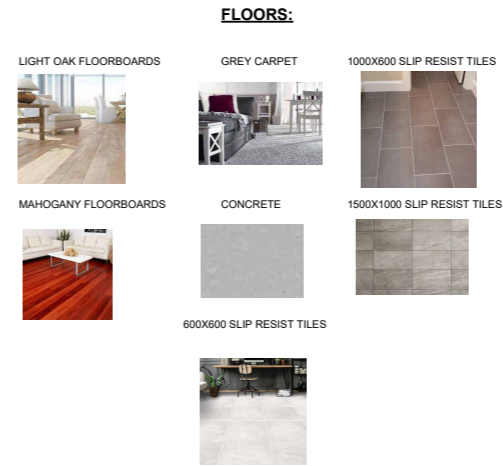
Scale

Address: **1153-1157 Burke Road, Kew, Vic**

Date: 18/06/2023

Project No. 02_2023

03 - Room schedule with finishes					
Level	Name	Area	Floor Finish	Wall Finish	Ceiling Finish
WD 04 ground floor					
WD 04 ground floor	Living	18 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Dining	15 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Kitchen	24 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Bed 4	13 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Laundry	4 m ²	1000x600 slip resistant tiles	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Powder	4 m ²	1000x600 slip resistant tiles	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Lounge	6 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Living	19 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Dining	17 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Kitchen	23 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Laundry	4 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
WD 04 ground floor	Bed 4	14 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Bed 5	13 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Wir	4 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Powder	4 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
WD 04 ground floor	Priv Access	16 m ²	1500x1000 slip resist tiles	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Atrium	66 m ²	1500x1000 slip resist tiles	Concrete + White Plasterboard	Exposed roof + Glass
WD 04 ground floor	Services	8 m ²	Concrete	White plasterboard	White Plasterboard
WD 04 ground floor	Disabled	6 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
WD 04 ground floor	Storage	6 m ²	Concrete	White Plasterboard	White Plasterboard
WD 04 ground floor	Cafe	87 m ²	Light Oak Floorboards	Cream Plasterboard	Cream Plasterboard
WD 04 ground floor	Green Grocer	89 m ²	Mahogany Floorboards	Green Plasterboard	Mahogany Timber battens
WD 04 ground floor	Hallway	27 m ²	1500x1000 slip resist tiles	White Plasterboard	White Plasterboard
WD 04 ground floor	Coldroom	8 m ²	Concrete	White Plasterboard	White Plasterboard
WD 04 ground floor	Mens	6 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
WD 04 ground floor	Female	5 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
WD 04 ground floor: 26					
WD 05 first floor					
WD 05 first floor	Master	15 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Wir	5 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Ens	5 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
WD 05 first floor	Bed 2	12 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Bed 3	12 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Bathroom	7 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
WD 05 first floor	Master	14 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Wir	10 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Ens	14 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
WD 05 first floor	Bed 2	16 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Wir	5 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Bed 3	17 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor	Bathroom	11 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
WD 05 first floor	Wir	6 m ²	Grey Carpet	Cream Plasterboard	Cream Plasterboard
WD 05 first floor: 14					
04 FF OFFICE					
04 FF OFFICE	Main office / waiting area	79 m ²	Light Oak Floorboards	White Plasterboard + Glass curtain wall	Suspended White Plasterboard 600x600 tiles
04 FF OFFICE	Meeting area	31 m ²	Light Oak Floorboards	White Plasterboard + Glass curtain wall	Suspended White Plasterboard 600x600 tiles
04 FF OFFICE	Office 3	12 m ²	Light Oak Floorboards	White Plasterboard	Suspended White Plasterboard 600x600 tiles
04 FF OFFICE	Office 4	12 m ²	Light Oak Floorboards	White Plasterboard	Suspended White Plasterboard 600x600 tiles
04 FF OFFICE	Office 1	15 m ²	Light Oak Floorboards	White Plasterboard	Suspended White Plasterboard 600x600 tiles
04 FF OFFICE	Office 2	17 m ²	Light Oak Floorboards	White Plasterboard	Suspended White Plasterboard 600x600 tiles
04 FF OFFICE	Toilet	5 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
04 FF OFFICE	Toilet	5 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
04 FF OFFICE	Services	7 m ²	Concrete	White Plasterboard	White Plasterboard
04 FF OFFICE: 9					
EP 03 SF Lighting Plan					
EP 03 SF Lighting Plan	Powder	8 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
EP 03 SF Lighting Plan	Powder	8 m ²	1000x600 slip resistant tiles	1000x600 slip resist tiles	Cream Plasterboard
EP 03 SF Lighting Plan: 2					
WD 06 second floor					
WD 06 second floor	Kitchen	14 m ²	Light Oak Floorboards	White Plasterboard	Suspended White Plasterboard 600x600 tiles
WD 06 second floor	Architecture office	90 m ²	Light Oak Floorboards	White Plasterboard + Glass curtain wall	Suspended White Plasterboard 600x600 tiles
WD 06 second floor	Meeting area	30 m ²	Light Oak Floorboards	White Plasterboard + Glass curtain wall	Suspended White Plasterboard 600x600 tiles
WD 06 second floor	Toilet	6 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
WD 06 second floor	Toilet	7 m ²	600x600 slip resist tiles	600x600 slip resist tiles	White Plasterboard
WD 06 second floor	Services	7 m ²	Concrete	White Plasterboard	White Plasterboard
WD 06 second floor: 6					









04 - External Finishes
1 : 500

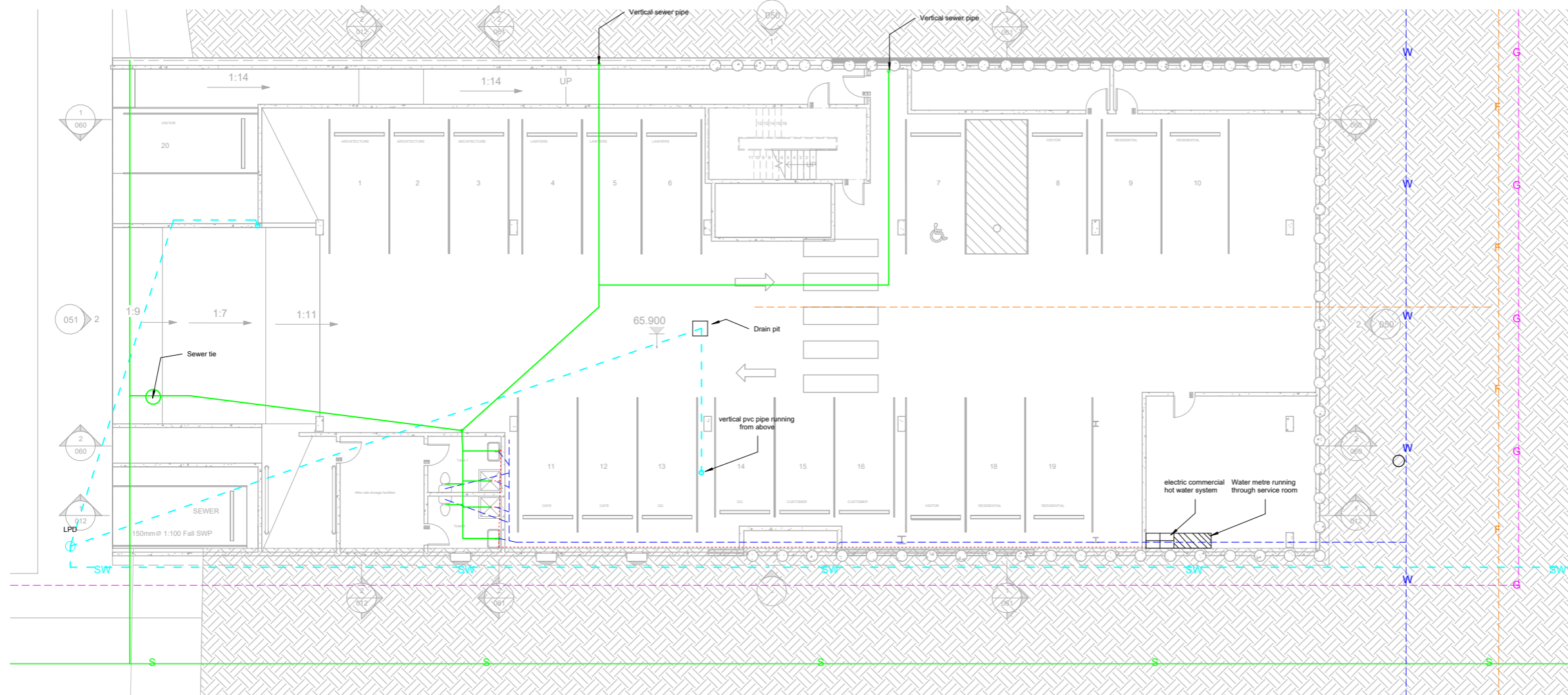
03 - Internal Finishes Legend
1 : 100

<p>Billi's Building Business Mobile: 0412 345 678 Email: 103993349@student.swin.edu.au Address: 1 Hellothere ave, Melbourne</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date										<p>Client: G.Naguib</p>	<p>Model: The OLYMPIAN</p>	<p>Address: 1153-1157 Burke Road, Kew, Vic</p>
	No.	Description	Date													
		<p>Sheet: Internal Finishes Schedule</p>	<p>Number: 074</p>	<p>Scale: As indicated</p>												
		<p>Date: 18/06/2023</p>	<p>Project No: 02_2023</p>													

KEY:	KEY
BG	BOX GUTTER
DP	DOWN PIPE
G	GAS
HWS	HOT WATER SYSTEM
S	SEWER
SD	STORM DRAIN
SW	STORM WATER
W	WATER IN

- SW --- STORM WATER CONNECTED TO LPD
- W --- WATER LINE IN
- --- HOT WATER LINE
- S --- SEWER
- G --- GAS LINE IN
- F --- FIRE SERVICE WATER
-  WATER METRE
-  HOT WATER SERVICE
-  DRAIN PIT
-  SEWER TIE
-  LEGAL POINT OF DISCHARGE (LPD)
-  VERTICAL DOWN PIPE

NOTE:
 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
 MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS 1668.2 AND AS/NZS 1668.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS, SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER.
 ALL PLUMBING AND SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE NCC AND AS/NZS 3509.2.
 ALL SEWER STACKS TO BE VENTED THROUGH ROOF.
 REFER TO FIRE SERVICES DESIGN FOR ALL HYDRANT, HOSE REELS AND EXTINGUISHER DETAILS.
 FIRE SUPPRESSION SPRINKLER SYSTEM TO BE DESIGNED BY FIRE SERVICES ENGINEER FOR ALL COMMERCIAL AREAS.
 REFER TO CIVIL ENGINEERS DESIGN AND DETAILS FOR ALL STORM WATER, CAR PARKING AND DRIVEWAY CONSTRUCTION REQUIREMENTS.
 THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES AND ALL ESSENTIAL SERVICES TO BE MAINTAINED DURING ALL WORKS.



1 SP 02 basement
 1 : 100

Billi's Building Business
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 Email: 103993349@student.swin.edu.au
 Address: 1 Hellothere ave, Melbourne



No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Services - Basement**

Address: **1153-1157 Burke Road, Kew, Vic**

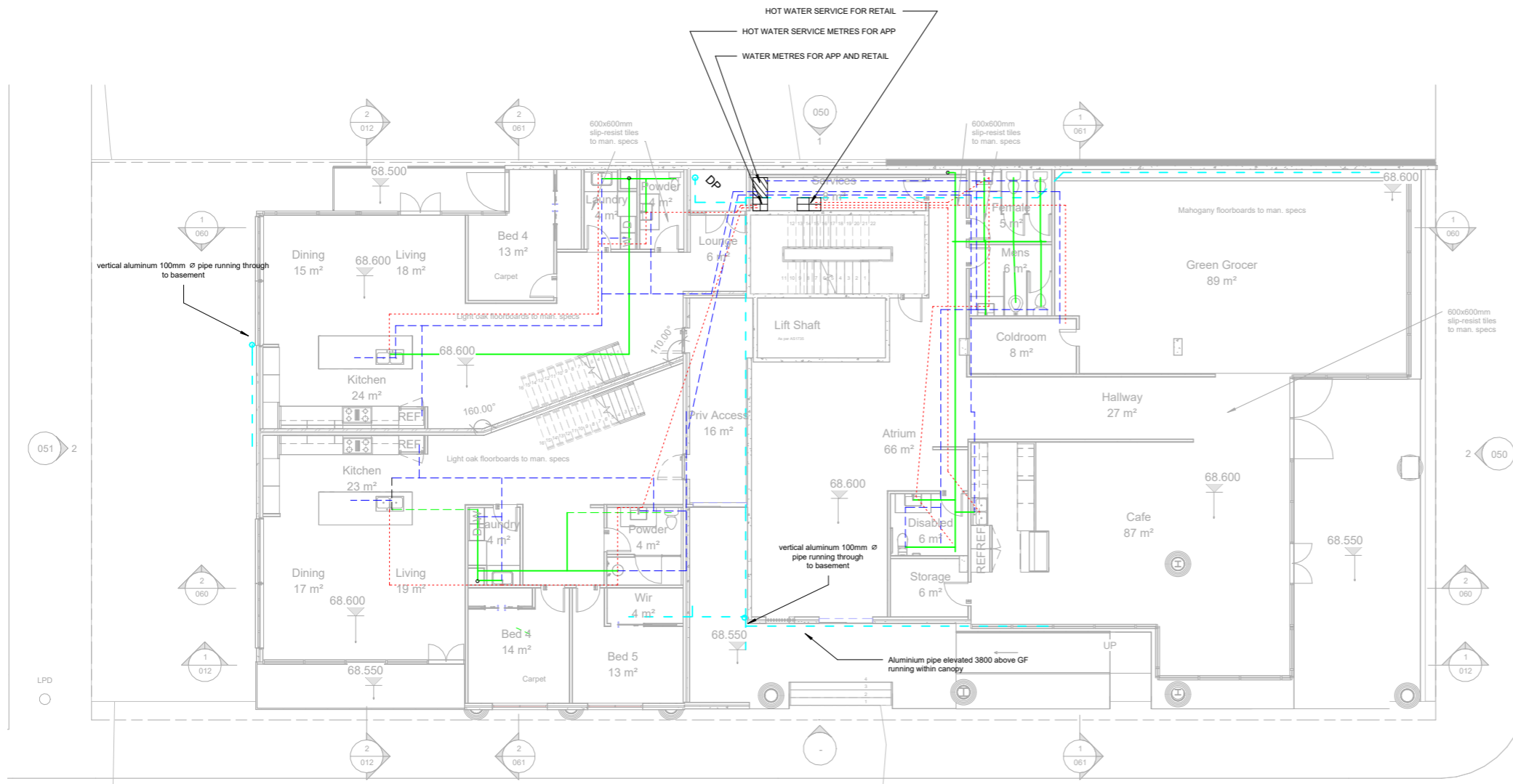
Number **100** Scale **As indicated**

Date: **18/06/2023** Project No. **02_2023**

KEY:	KEY
BG	BOX GUTTER
DP	DOWN PIPE
G	GAS
HWS	HOT WATER SYSTEM
S	SEWER
SD	STORM DRAIN
SW	STORM WATER
W	WATER IN

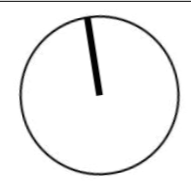
	STORM WATER CONNECTED TO LPD WATER LINE IN
	HOT WATER LINE
	SEWER
	GAS LINE IN
	FIRE SERVICE WATER
	HOT WATER SERVICE
	WATER METRE
	VERTICAL DOWN PIPE

NOTE:
 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
 MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS 1668.2 AND AS/NZS 1668.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS. SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER.
 ALL PLUMBING AND SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE NCC AND AS/NZS 3509.2.
 ALL SEWER STACKS TO BE VENTED THROUGH ROOF.
 REFER TO FIRE SERVICES DESIGN FOR ALL HYDRANT, HOSE REELS AND EXTINGUISHER DETAILS.
 FIRE SUPPRESSION SPRINKLER SYSTEM TO BE DESIGNED BY FIRE SERVICES ENGINEER FOR ALL COMMERCIAL AREAS.
 REFER TO CIVIL ENGINEERS DESIGN AND DETAILS FOR ALL STORM WATER, CAR PARKING AND DRIVEWAY CONSTRUCTION REQUIREMENTS.
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 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES AND ALL ESSENTIAL SERVICES TO BE MAINTAINED DURING ALL WORKS.



1 SP 03 ground floor
 1: 100

Billi's Building Business
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 Address: 1 Hellothere ave, Melbourne



No.	Description	Date

Client: **G.Naguib**

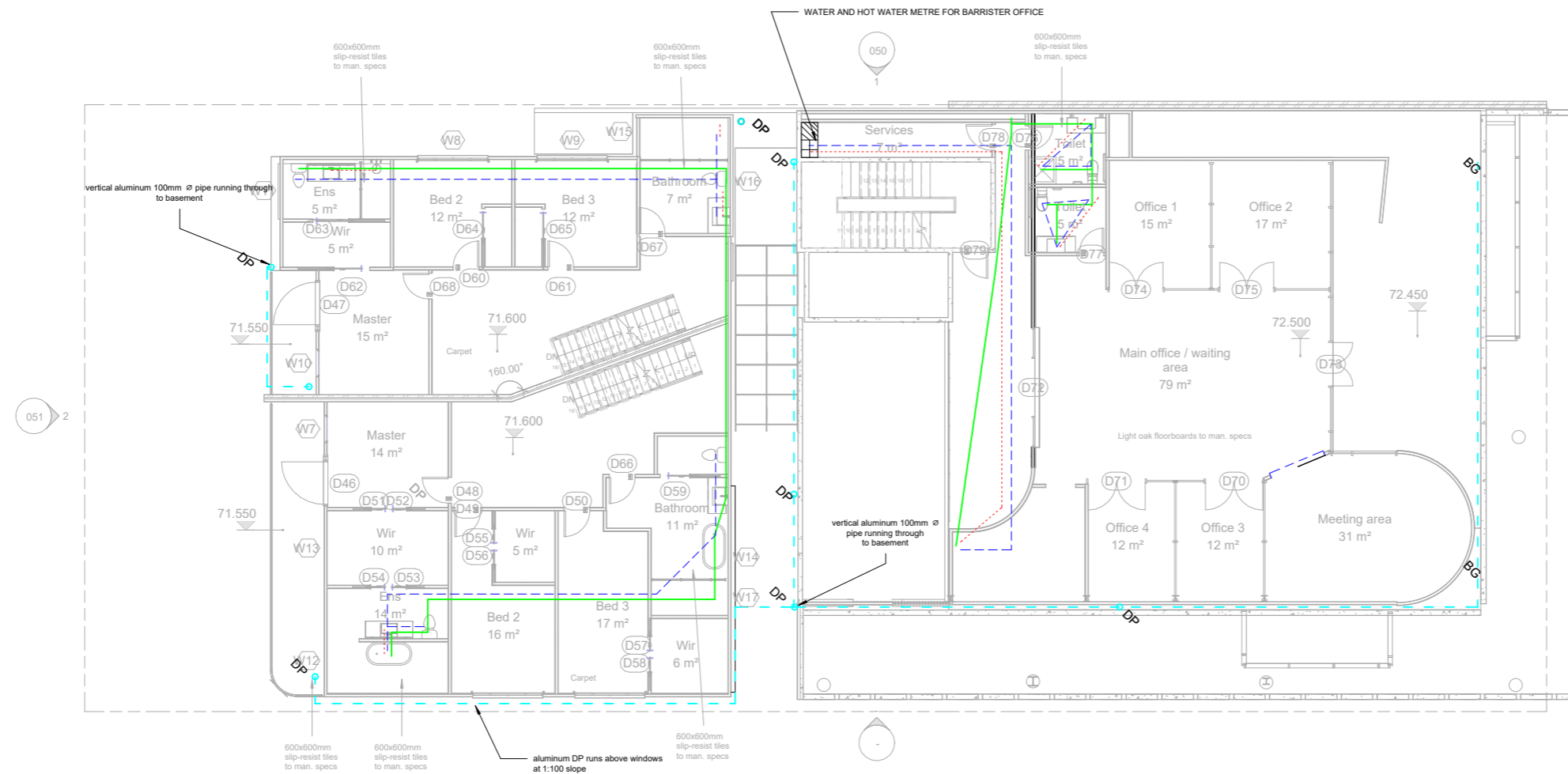
Model: **The OLYMPIAN**
 Sheet: **Services - Ground Floor**
 Number: **101** Scale: **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**



KEY:	KEY
BG	BOX GUTTER
DP	DOWN PIPE
G	GAS
HWS	HOT WATER SYSTEM
S	SEWER
SD	STORM DRAIN
SW	STORM WATER
W	WATER IN

	STORM WATER CONNECTED TO LPD
	WATER LINE IN
	HOT WATER LINE
	SEWER
	GAS LINE IN
	FIRE SERVICE WATER
	HOT WATER SERVICE
	WATER METRE
	VERTICAL DOWN PIPE



NOTE:
 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
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SP 04 first floor

1
1:100



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No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Services - First Floor**

Number **102**

Scale **As indicated**

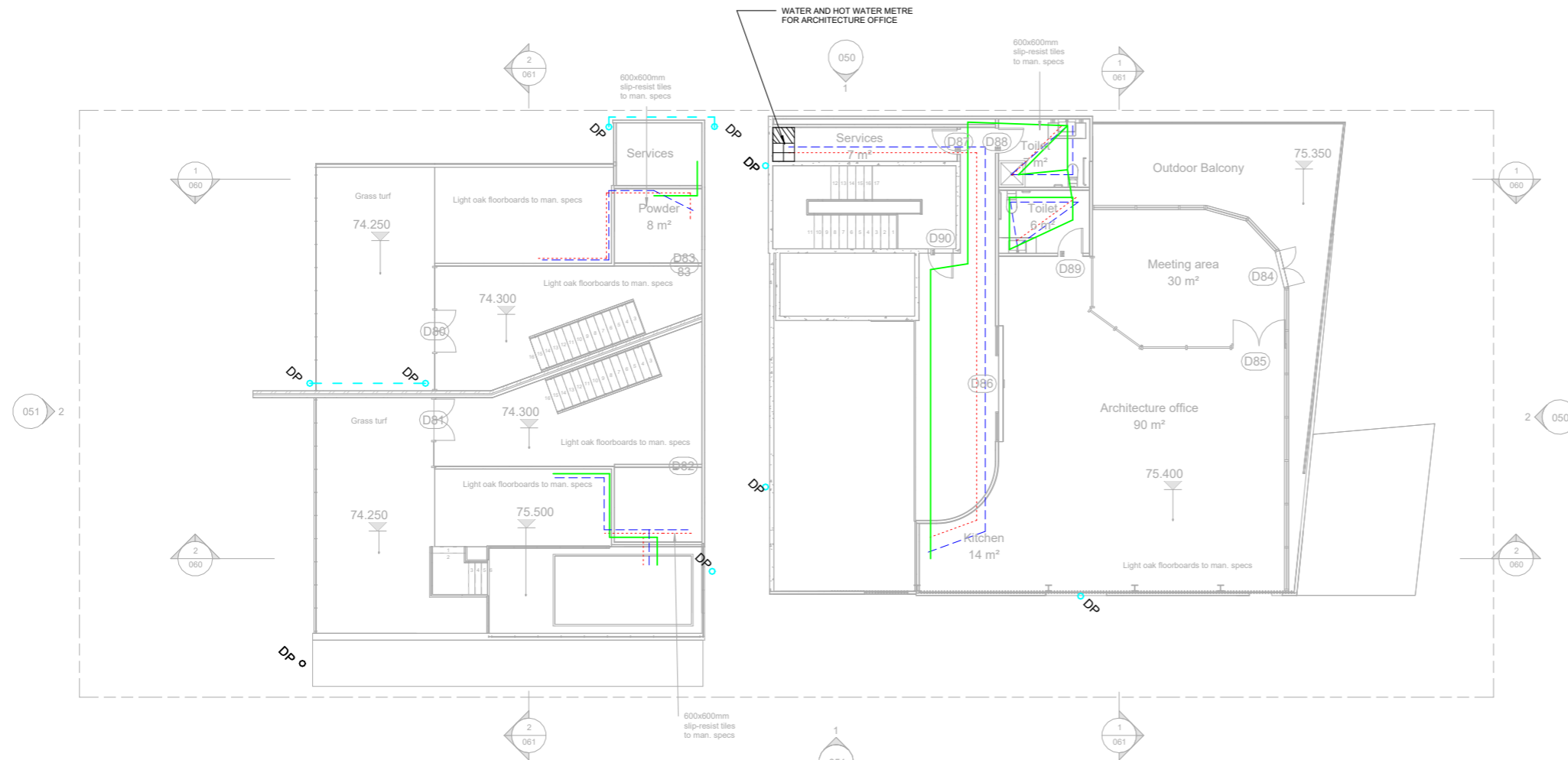
Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

Project No. **02_2023**

KEY:	KEY
BG	BOX GUTTER
DP	DOWN PIPE
G	GAS
HWS	HOT WATER SYSTEM
S	SEWER
SD	STORM DRAIN
SW	STORM WATER
W	WATER IN

	STORM WATER CONNECTED TO LPD
	WATER LINE IN
	HOT WATER LINE
	SEWER
	GAS LINE IN
	FIRE SERVICE WATER
	HOT WATER SERVICE
	WATER METRE
	VERTICAL DOWN PIPE



NOTE:
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SP 05 second floor

1 : 100

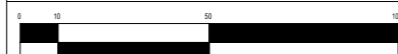


Billi's Building Business

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 Address: 1 Hellothere ave, Melbourne



No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Services - Second Floor**

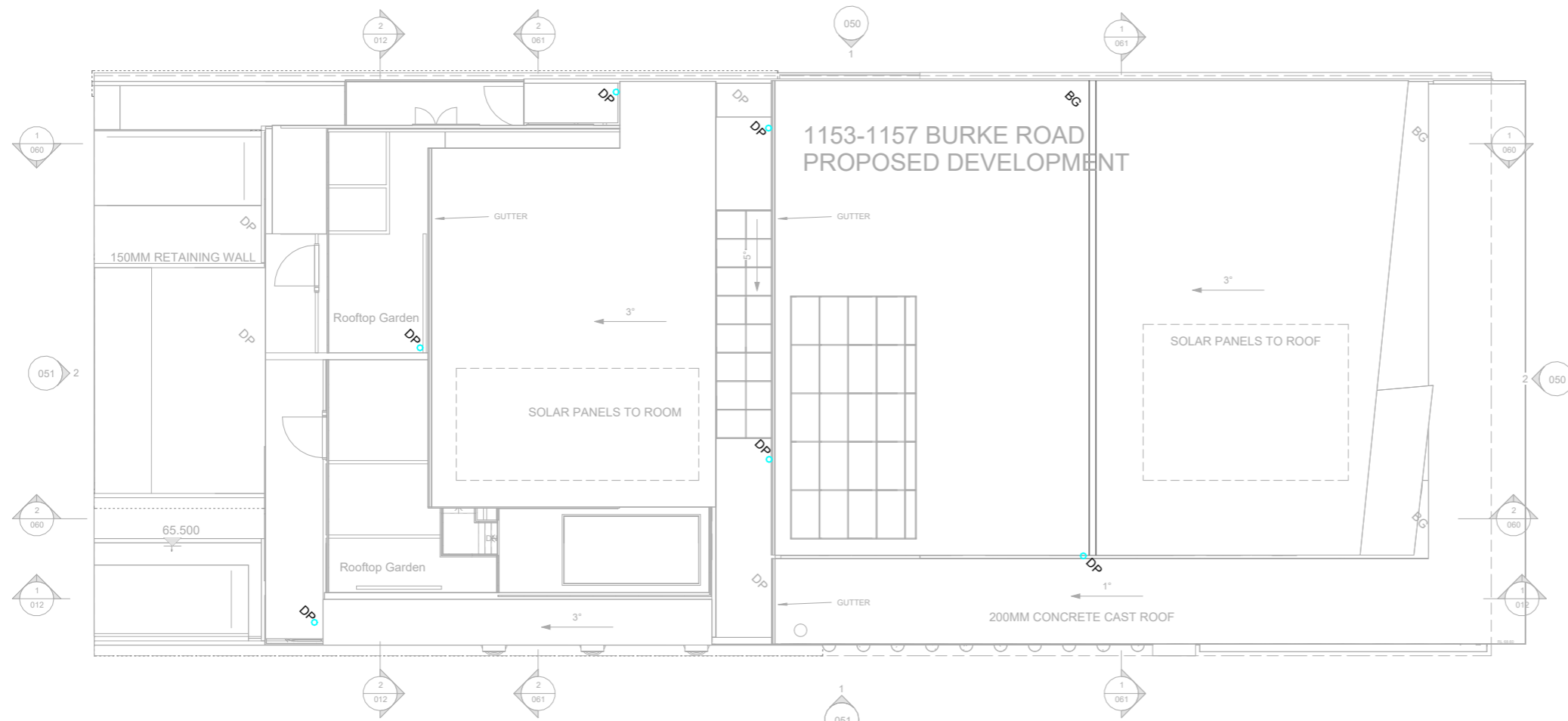
Number **103**

Scale **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

Project No. **02_2023**



KEY:

BG	BOX GUTTER
DP	DOWN PIPE
G	GAS
HWS	HOT WATER SYSTEM
S	SEWER
SD	STORM DRAIN
SW	STORM WATER
W	WATER IN

	STORM WATER CONNECTED TO LPD
	WATER LINE IN
	HOT WATER LINE
	SEWER
	GAS LINE IN
	FIRE SERVICE WATER
	VERTICAL DOWN PIPE

NOTE:

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS 1668.2 AND AS/NZS 1668.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS. SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER.

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1 SP 01 roof plan
1 : 100



Billi's Building Business
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No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Services - Roof**

Address: **1153-1157 Burke Road, Kew, Vic**

Number **104**

Scale **As indicated**

Date: **18/06/2023**

Project No. **02_2023**



1 EP 02 FF Lighting Plan
1 : 100

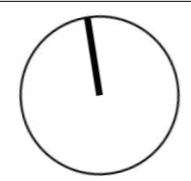
KEY:

- CEILING DOWN LIGHT 60V
- SINGLE LIGHT SWITCH
- DOUBLE LIGHT SWITCH
- QUAD LIGHT SWITCH
- SMOKE DETECTOR
- OUTLET DUPLEX
- TELEVISION / ANTENNA
- PENDANT LIGHT
- LIGHT CONNECTIONS

Lighting Fixture Schedule			
Count	Level	Family	Room
WD 05 first floor			
1	WD 05 first floor	Ceiling Light - Flat Round	N MASTER
1	WD 05 first floor	Ceiling Light - Flat Round	N MASTER
1	WD 05 first floor	Ceiling Light - Flat Round	N MASTER WIR
1	WD 05 first floor	Ceiling Light - Flat Round	N ENS
1	WD 05 first floor	Ceiling Light - Flat Round	N BED 2
1	WD 05 first floor	Ceiling Light - Flat Round	N BED 2
1	WD 05 first floor	Ceiling Light - Flat Round	N BED 3
1	WD 05 first floor	Ceiling Light - Flat Round	N BED 3
1	WD 05 first floor	Ceiling Light - Flat Round	N BATH
1	WD 05 first floor	Ceiling Light - Flat Round	N HALL
1	WD 05 first floor	Ceiling Light - Flat Round	N HALL
1	WD 05 first floor	Ceiling Light - Flat Round	N HALL
1	WD 05 first floor	Ceiling Light - Flat Round	N HALL
1	WD 05 first floor	Ceiling Light - Flat Round	S HALL
1	WD 05 first floor	Ceiling Light - Flat Round	S HALL
1	WD 05 first floor	Ceiling Light - Flat Round	S HALL
1	WD 05 first floor	Ceiling Light - Flat Round	S HALL
1	WD 05 first floor	Ceiling Light - Flat Round	S HALL
1	WD 05 first floor	Ceiling Light - Flat Round	S BATH
1	WD 05 first floor	Ceiling Light - Flat Round	S BATH
1	WD 05 first floor	Ceiling Light - Flat Round	S BED 3
1	WD 05 first floor	Ceiling Light - Flat Round	S BED 3
1	WD 05 first floor	Ceiling Light - Flat Round	S WIR BED 3
1	WD 05 first floor	Ceiling Light - Flat Round	S BED 2
1	WD 05 first floor	Ceiling Light - Flat Round	S WIR BED 2
1	WD 05 first floor	Ceiling Light - Flat Round	S BED 2
1	WD 05 first floor	Ceiling Light - Flat Round	S MASTER WIR

Lighting Fixture Schedule			
Count	Level	Family	Room
WD 05 first floor: 37			
1	WD 05 first floor	Ceiling Light - Flat Round	S MASTER
1	WD 05 first floor	Ceiling Light - Flat Round	S MASTER
1	WD 05 first floor	Ceiling Light - Flat Round	S ENS
1	WD 05 first floor	Ceiling Light - Flat Round	S ENS
1	WD 05 first floor	Ceiling Light - Flat Round	S BALCONY
1	WD 05 first floor	Ceiling Light - Flat Round	S BALCONY
1	WD 05 first floor	Ceiling Light - Flat Round	S BALCONY
1	WD 05 first floor	Ceiling Light - Flat Round	N BALCONY
1	WD 05 first floor	Ceiling Light - Flat Round	S TOILET
04 OFFICE (LAWYERS)			
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	OFFICE 1
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	OFFICE 1
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	WAITING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	WAITING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	WAITING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	WAITING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	WAITING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	WAITING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	KITCHEN
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	KITCHEN
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	OFFICE 3
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	OFFICE 4
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	MEETING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	MEETING AREA
1	04 OFFICE (LAWYERS)	Ceiling Light - Flat Round	MEETING AREA
04 OFFICE (LAWYERS): 15			

Billi's Building Business
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 Address: 1 Hellothere ave, Melbourne

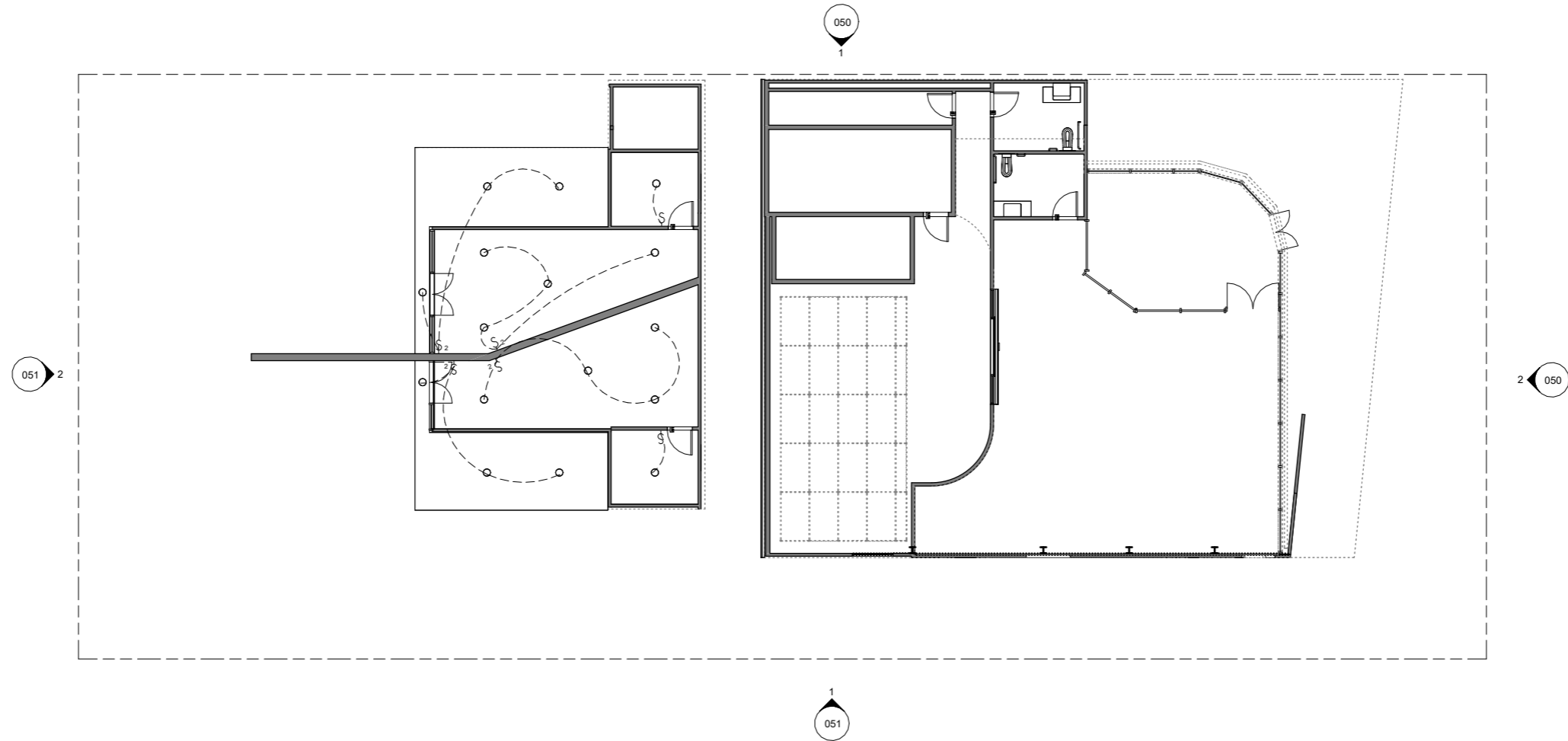


No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Services - Electrical plan first floor**
 Number: **106** Scale: **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**



1 EP 03 SF Lighting Plan
1 : 100

KEY:

	CEILING DOWN LIGHT 60V		SMOKE DETECTOR
	SINGLE LIGHT SWITCH		OUTLET DUPLEX
	DOUBLE LIGHT SWITCH		TELEVISION / ANTENNA
	QUAD LIGHT SWITCH		PENDANT LIGHT
			LIGHT CONNECTIONS

Lighting Fixture Schedule			
Count	Level	Family	Room
EP 03 SF Lighting Plan			
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N PWD
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S PWD
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N HALL
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N ROOFTOP
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N ROOFTOP
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	N ROOFTOP
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S ROOFTOP
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S ROOFTOP
1	EP 03 SF Lighting Plan	Ceiling Light - Flat Round	S ROOFTOP

EP 03 SF Lighting Plan: 16

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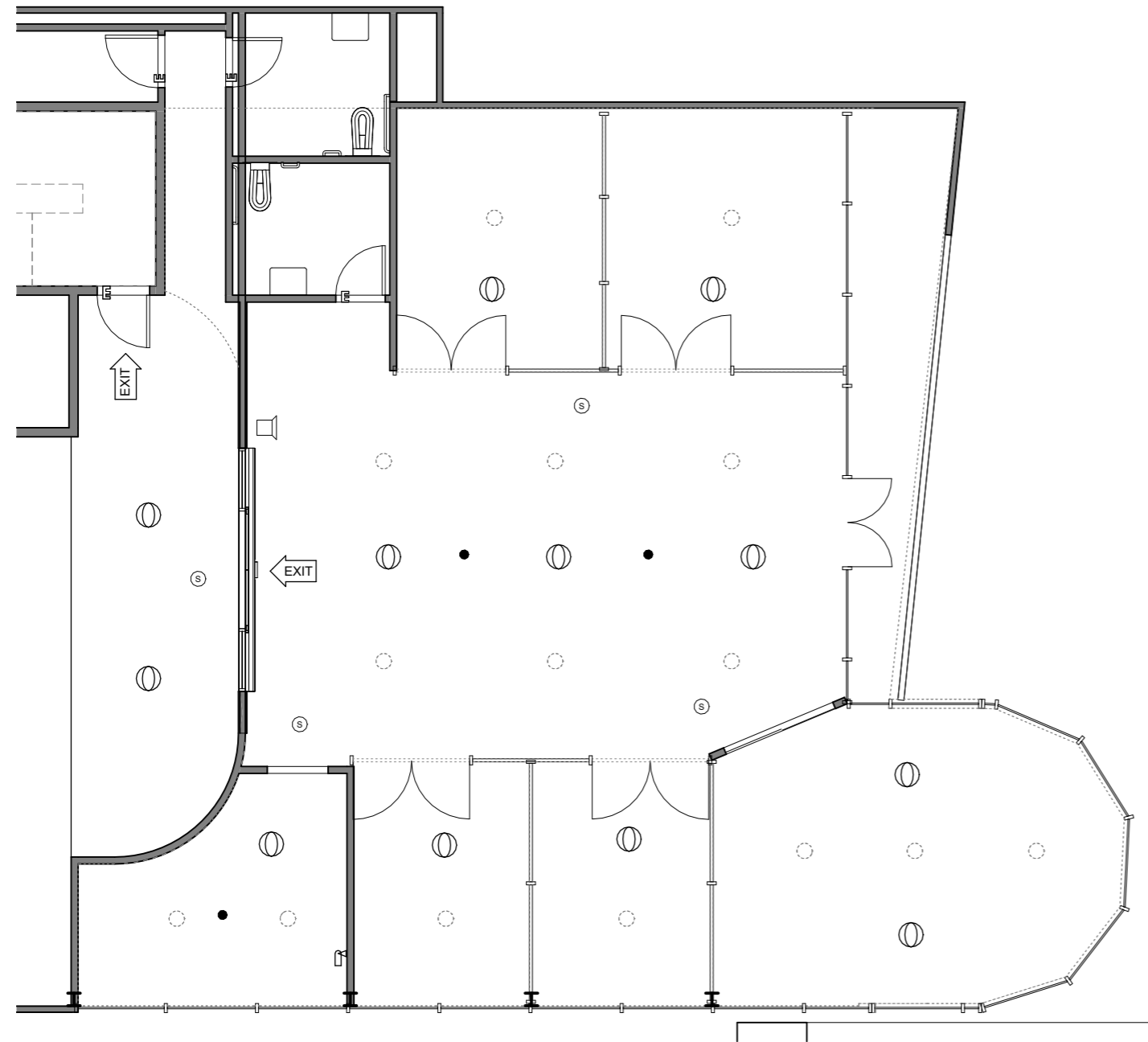


No.	Description	Date







Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Services - Electrical plan second floor**
 Number: **107** Scale: **1 : 100**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**



LEGEND:

-  SMOKE DETECTOR
-  FIRE ALARM
-  FIRE EXTINGUISHER
-  EXIT SIGN
-  SPRINKLER
-  EMERGENCY LIGHTS

NOTE:
 All Class 2 - 9 buildings—
 (i) A smoke alarm system must—
 (A) consist of smoke alarms complying with AS 3786; and
 (B) be powered from the consumer mains source.
 (ii) In kitchens and other areas where the use of the area is likely to result in smoke alarms causing spurious signals—
 (A) any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms are installed elsewhere in the sole-occupancy unit in accordance with Clause 3(b)(i) and Clause 3(b)(ii); or
 (B) an alarm acknowledgement facility may be installed, except where the kitchen or other area is in a building protected with a sprinkler system complying with Specification E1.5 (other than a FPAA101D system), the alarms need not be installed in the kitchen or other areas likely to result in spurious signals.

1 SP 00 Smoke hazard plan
 1 : 50



Billi's Building Business
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 Address: 1 Hellothere ave, Melbourne



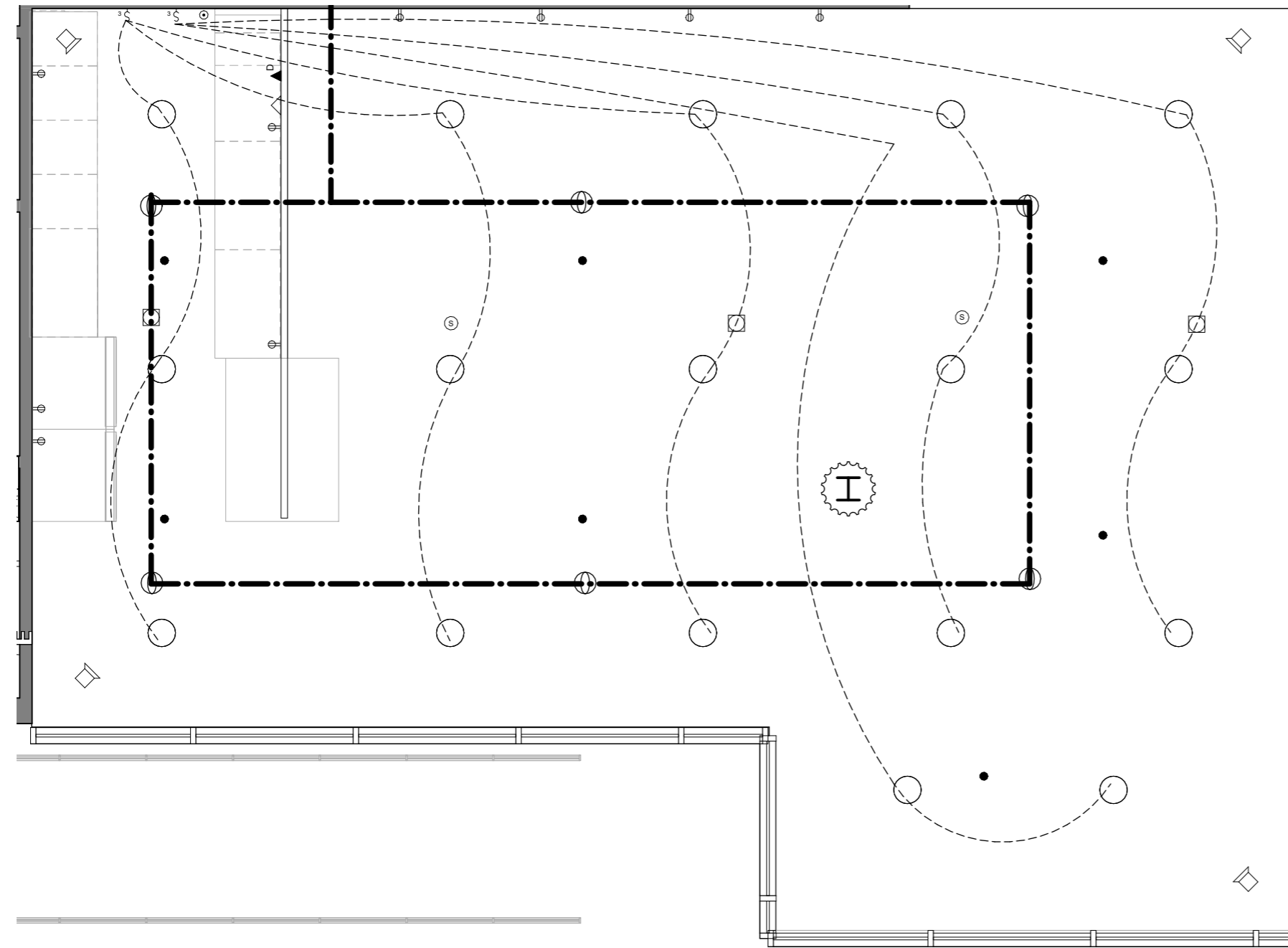
No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Services - Smoke hazard plan barristers office
 Sheet:
 Number 108 Scale As indicated

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: 18/06/2023 Project No. 02_2023

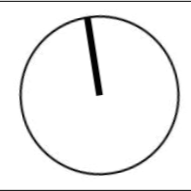




- KEY:**
- CEILING DOWN LIGHT 60V
 - § 3 TRIPLE LIGHT SWITCH
 - SPRINKLER SYSTEM
 - ☐ LOUDSPEAKERS
 - ⊙ EMERGENCY LIGHT
 - ☐ EMERGENCY PA SYSTEM
 - ⊙ EMERGENCY BUTTON
 - ⊙ S MOKE DETECTOR
 - ⊙ OUTLET DUPLEX
 - ▲^D DATA POINT
 - - - LIGHT CONNECTIONS
 - △ TELEPHONE OUTLET

1 SP 01 Electronic service plan (cafe)
1 : 25

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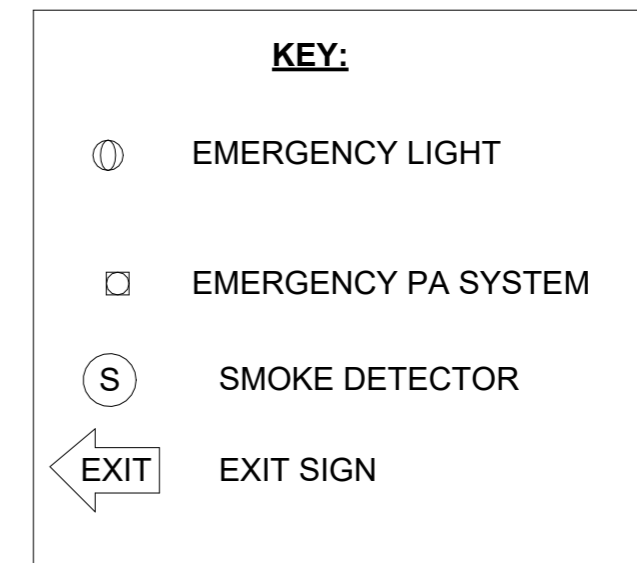
No.	Description	Date

Client: **G.Naguib**

Model: **The OLYMPIAN**
 Sheet: **Services - Electronic cafe plan**
 Number: **109** Scale: **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**
 Date: **18/06/2023** Project No. **02_2023**





SP 03 Emergency warning system

1
1 : 50



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 Email: 103993349@student.swin.edu.au
 Address: 1 Hellothere ave, Melbourne



No.	Description	Date



Client: **G.Naguib**

Model: **The OLYMPIAN**

Sheet: **Services -
Emergency plan
retail**

Number **110**

Scale **As indicated**

Address: **1153-1157 Burke Road, Kew, Vic**

Date: **18/06/2023**

Project No. **02_2023**